



# HIGHLAND PLANNING COMMISSION AGENDA

TUESDAY, APRIL 23, 2024

Highland City Council Chambers, 5400 West Civic Center Drive, Highland Utah 84003

## VIRTUAL PARTICIPATION

 YouTube Live: <http://bit.ly/HC-youtube>

 Email comments prior to meeting: [planningcommission@highlandcity.org](mailto:planningcommission@highlandcity.org)

## 7:00 PM REGULAR SESSION

Call to Order: Chair Audrey Moore

Invocation: Commissioner Tracy Hill

Pledge of Allegiance: Chair Audrey Moore

### 1. UNSCHEDULED PUBLIC APPEARANCES

Please limit comments to three minutes per person. Please state your name.

### 2. CONSENT ITEMS

Items on the consent agenda are of a routine nature. They are intended to be acted upon in one motion.

Items on the consent agenda may be pulled for separate consideration.

#### a. Approval of Meeting Minutes - January 23, 2024 and February 27, 2024

### 3. ACTION ITEMS

#### a. ACTION: Public Hearing: CU-24-01 Church Pavilion Conditional Use Permit *Land Use (Administrative)*

*Rob Patterson, City Attorney/Planning & Zoning Administrator*

The Planning Commission will hold a public hearing to consider and make a recommendation to the City Council on a request from the Church of Jesus Christ of Latter-day Saints for a conditional use permit to construct a pavilion.

### 4. DISCUSSION ITEMS

Items in this section are for discussion and direction to staff only. No final action will be taken.

#### a. DISCUSSION: Introduction of General Plan Consultant and Plan Workshop with Council

## ADJOURNMENT

In accordance with Americans with Disabilities Act, Highland City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at (801) 772-4505 at least three days in advance of the meeting.

## **ELECTRONIC PARTICIPATION**

Members of the Planning Commission may participate electronically during this meeting.

## **CERTIFICATE OF POSTING**

I, Stephannie Cottle, the duly appointed City Recorder, certify that the foregoing agenda was posted at the principal office of the public body, on the Utah State website (<http://pmn.utah.gov>), and on Highland City's website ([www.highlandcity.org](http://www.highlandcity.org)).

Please note the order of agenda items are subject to change in order to accommodate the needs of the Planning Commission, staff and the public.

Posted and dated this agenda on the 18th day of April, 2024

Stephannie Cottle, CMC, City Recorder

<b>THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.</b>
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## HIGHLAND CITY

# HIGHLAND CITY PLANNING COMMISSION MINUTES

Tuesday, January 23, 2024

**Waiting Formal Approval**

Highland City Council Chambers, 5400 West Civic Center Drive, Highland Utah 84003

### VIRTUAL PARTICIPATION



YouTube Live: <http://bit.ly/HC-youtube>



Email comments prior to meeting: [planningcommission@highlandcity.org](mailto:planningcommission@highlandcity.org)

### 7:00 PM REGULAR SESSION

Call to Order – Chair Audrey Moore

Invocation – Commissioner Debra Maughan

Pledge of Allegiance – Commissioner Tracy Hill

The meeting was called to order by Commissioner Audrey Moore as a regular session at 7:05 pm. The meeting agenda was posted on the *Utah State Public Meeting Website* at least 24 hours prior to the meeting. The prayer was offered by Commissioner Claude Jones and those in attendance were led in the Pledge of Allegiance by Commissioner Tracy Hill.

**PRESIDING:** Commissioner Audrey Moore

### COMMISSIONERS

**PRESENT:** Tracy Hill, Christopher Howden, Claude Jones, and Trent Thayn

**CITY STAFF PRESENT:** Mayor Kurt Ostler, Assistant City Administrator /Community Development Director Jay Baughman, City Attorney Rob Patterson, City Engineer Andy Spencer, Planning Commission Secretary Heather White

**OTHERS PRESENT:** Daryl Chadwick, Eric Halverson, Todd Trane, Elizabeth Rice, Rick Guyman, Dennis Bromley, see attendance sheet

### 1. UNSCHEDULED PUBLIC APPEARANCES

Please limit comments to three minutes per person. Please state your name.

Resident Daryl Chadwick said he did not understand the regulations regarding curb, gutter, and sidewalk for subdivisions. Some homes had improvements and others didn't. He wondered if developers were required to put in curb, gutter, and sidewalk. He wondered why the city put in his neighbor's improvements, but not everyone else's. Mr. Spencer couldn't speak to what had been done in the past, but said current regulations required

developers to put in curb, gutter, and sidewalk. He explained that older county roads had varying cross sections. He was not aware of the circumstances involving Mr. Chadwick's neighbor.

Resident Eric Halverson wondered if curb, gutter, and sidewalk were going to be required in the development on 6400 West. He wondered if it was possible to have a new development install a wall to reduce sound. Mr. Spencer said curb, gutter, and sidewalk would be required. Commissioner Moore explained that it was possible to require a sound wall from developers.

## 2. CONSENT ITEMS

Items on the consent agenda are of a routine nature or have been previously studied by the Planning Commission. They are intended to be acted upon in one motion. Commissioners may pull items from consent if they would like them considered separately.

- a. Approval of Meeting Minutes** *General City Management – Jay Baughman, Assistant City Administrator / Community Development Director*  
Planning Commission Meeting – December 19, 2023

*Commissioner Chris Howden MOVED to approve the minutes from the December 19, 2023 Planning Commission Meeting. Commissioner Trent Thayn SECONDED the motion.*

*The vote was recorded as follows:*

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Yes</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Yes</i>
<i>Commissioner Debra Maughan</i>	<i>Absent</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>Yes</i>

*The motion carried 5:0*

## 3. PUBLIC HEARING: PRELIMINARY PLAT - FOXWOOD ESTATES *Land Use (Administrative) – Jay Baughman, Assistant City Administrator/Community Development Director*

The Planning Commission will hold a public hearing to consider a request by the developers for preliminary plat approval of a 20-lot subdivision in the R-1-40 Zone located at 10630 North 6400 West. The Planning Commission will take appropriate action.

Mr. Patterson presented information for the preliminary plat application. He said that the applicant would provide a trail connection between Lots 7 and 8. He reviewed the route of the trail. Mr. Patterson explained that a theme wall (or other appropriate buffer) would be installed by the applicant along the trail on the southwest boundary of the subdivision. Theme walls or other fencing was required along 6400 West and along trails. Mr. Patterson explained that the applicant requested a variance to the slope setback. As required by code, the developer provided studies and engineering regarding slopes. Each lot will have a restricted buildable area shown on the plat. Mr. Spencer talked about the slope setback. He said the developer thought the 50-foot requirement was too restrictive. They cited the homes on the other side of the wash that had been there for

years. He reviewed the findings of the geotechnical study submitted by the applicant. He said each lot would be surveyed to determine the buildable area. Residents could landscape to the edge of the wash, but structures would be limited. He said it would be clear on the plat where the buildable area would be.

Commissioner Moore wondered how the information would be presented to the homeowner. Mr. Spencer talked about what the homeowner would see on the plat. He said the geotechnical study would be recorded and each lot would be recorded with exact dimensions of buildable area listed.

Commissioner Thayne asked about testing for the geotechnical report. He wondered if they found anything or took test samples. Mr. Spencer explained that they did test holes. He said the developer was aware that the edge of the wash, in various locations, had debris that was dumped there - old concrete, etc. He said the developer had already tried to clean up some of the dead vegetation. Commissioner Moore wondered what kind of trash was in the area. Mr. Spencer explained that the city found old concrete and sidewalk remnants when the sewer line was constructed. He speculated that farmers might have told excavators they could dump it on the farm. He said it was common for old farm properties to have a garbage area. He said staff was confident that the stipulations satisfied any concerns.

Commissioner Howden wondered if fences would be permitted along the wash. He also asked about the permitted trail and fencing materials. Mr. Spencer said structure restrictions would not apply to fences. Mr. Patterson explained that the code required a theme wall, and that the developer would be held to development code standards.

Commissioner Moore wondered who was responsible for the maintenance of the park strip. Mr. Spencer explained that the city only took care of parkway detail with a 29-foot cross section. He explained that the adjacent homeowner would be responsible for maintenance. For example, the homeowner of Lot 7 would be responsible for the park strip maintenance in front of the home as well as the park strip and landscape maintenance behind their lot along 6400 West. He anticipated that the city would care for the trail south of Lots 17-20 as well as the trail between Lots 7 and 8.

Mr. Patterson reviewed the stipulations from the staff report as well as the stipulations listed in the Sensitive Lands Memorandum. Mr. Spencer explained that there was a provision stipulating that residents would take care of the wash and remove fallen trees, etc. but they would not completely strip the area of all vegetation.

By invitation, Todd Trane, representative for Millhaven Homes, addressed the commissioners. He said substantial geotechnical work had been done on the hollow. They were able to get to native material in all the test holes where they would excavate for a home. They had seen the fill on the edges with concrete and building materials and would clean it up. He said they had a standard practice where a Geotech would look at each excavated hole. He thought the setback was enough that they would not have a problem getting to native fill. He said a theme wall was planned along 6400 West and along the south cul-de-sac. A 6-foot park strip with trees was planned on the south in order to give Lots 9-11 more of a buffer. He said they followed the geotechnical recommendations and were as safe as possible. He said they clean up vegetation and debris in the bottom of the channel.

Commissioner Thayne wondered if Millhaven intended to build on each lot. He was concerned that the lots had an extremely long list of restrictions. Mr. Trane said a few builders had asked, but Millhaven was still deciding if they would give one or two lots to a high-end custom builder. He said Millhaven was going to build out the subdivision and be involved until the last home. He acknowledged that there were a lot of restrictions, however, they were not grading anything and would only build on the flat. He said they would stay away from the hollow and would dedicate a conservation easement in the bottom in order to keep it natural, as required by the irrigation company.

Commissioner Thayn wondered if the developer had any problems with any of the stipulations. Mr. Trane said he wished they had submitted the application six months ago. He said every other subdivision in Highland developed without the new regulations. He understood why the city had new regulations but didn't think they applied to this property. He said they were more than willing to do what they were asked because it was the right thing to do. He said the process had been difficult, but the staff had been great to work with as new regulations were navigated.

Commissioner Moore opened the public hearing at 8:23 PM and asked for public comment.

Resident Elizabeth Rice said she respected Millhaven homes. She reminded the commissioners about homes in St. George that were built too close to a wash and homes in Draper that were built too close to a cliff. She said she trusted Millhaven Homes, but suggested adding a stipulation that Millhaven Homes not sell the lots near the wash to a private builder/contractor and that Millhaven build the homes on lots near the wash.

Resident Eric Halverson wondered if staff did anything to verify or vet the geotechnical engineer. Mr. Spencer explained that the state went through the process to license engineers. He said the city didn't have the ability to define which engineers they like or didn't like. Mr. Halverson thought that most residents preferred to see a fence completely around the property. He thought it made more sense to have a fence bordering the existing homes. He asked the commission to consider not having a grass space between the sidewalk, fence, and houses on the parkway because it might not get taken care of. He mentioned that the lot behind his out was 4 acres and wondered if the property could be later subdivided. Mr. Patterson explained that the property owners could build accessory structures, but additional homes would require a 130 feet of street frontage.

Resident Rick Guyman liked the proposed preliminary plan. He asked about the height of the theme wall and details with the drainage between the subdivisions. Mr. Patterson explained that a 6-foot from finished grade was standard. He said the area between the existing subdivision was a drainage and could possibly be change to concrete. Mr. Guyman mentioned that Deer Hollow Way was sometimes a racetrack and wondered if there were plans for a stop sign. Mr. Patterson said there were no traffic control plans yet. He explained that local roads were typically evaluated once they were finished.

Resident Dennis Bromley asked about the general development outline and agreed with having a fence around the whole development. Mr. Trane hoped to have approval within the next few months. He thought complete buildout would take two or three years. He said they were meeting fencing requirements, but 99% of the time residents would install their own fence. He thought that most of the subdivision would eventually be fenced.

Commissioner Moore asked for additional comments. Hearing none, she closed the public hearing at 8:34 PM and asked for additional discussion.

Commissioner Howden mentioned that the park strips needed to be xeriscaped. He was impartial about changing the 19-foot parkway cross section to 14 feet if the commissioners chose to change it.

*Commissioner Chris Howden MOVED that the Planning Commission accept the findings and approve the preliminary plat for the Foxwood Estates Subdivision subject to the following fourteen (14) stipulations recommended by staff:*

- 1. The final plat shall be in substantial conformance with the preliminary plat received January 11, 2024.*
- 2. All public improvements shall be installed as required by the City Engineer.*
- 3. Final subdivision improvement plans shall meet all requirements as determined by the City Engineer.*

4. Sewer slopes must be revised, applicant shall provide more slope on the furthest north streets (to increase velocity where minimum flow is happening), and a flatter slope in the trunk lines. Final sewer slopes to be approved by the City Engineer.
5. The applicant has indicated to staff they would like to update percolation tests and calculations used to determine the required number of storm drainage inlets and sumps. Revised calculations and placement shall be approved by the City Engineer, otherwise final plans shall substantially conform in number and placement as indicated on the preliminary plans.
6. The low point shown in street grading between lots 14 and 15 shall be eliminated to allow all street grading to overflow blocked inlets without causing localized flooding, otherwise a dedicated surface overflow path shall be provided to the wash.
7. A dedicated overflow corridor is required for any cul-de-sac that drains to the bulb, a surface drainage corridor to the wash is an acceptable mitigation until such time as the trail can be installed to provide a surface overflow path. Applicant shall also verify that the future trail can be graded to allow for this drainage.
8. All drainage runoff not directed to the public street must be contained on each lot without draining to the adjacent lot or property. A note shall be added to the final plat for each lot stating this requirement and detailing any lot specific provisions required to accomplish this objective.
9. Final plat and subdivision improvement plans to conform to stipulations and conditions outlined in staff sensitive lands memorandum.
10. Parcel A shall be dedicated to Highland City.
11. Irrigation piping plans and associated easements shall be approved by Lehi Irrigation Company. Easements for water conveyance within the wash and the piping leading to the wash shall be dedicated to both Lehi Irrigation Company and Highland City.
12. Trees along trail park strip shall be of a variety and shall be spaced according to City forester recommendations and requirements. Trees, rock mulch for xeriscape and a sprinkler system shall be installed along trail corridors that will be owned by the City. Fencing compliant with City ordinance shall be installed along the trail corridor between lot 7 and 8. Fencing along the trail corridor behind lot 8 along 6400 West shall be placed to have 5-foot behind the trail to match the standard City fence ordinance for placement of fences adjacent to sidewalks.
13. A theme-wall fence shall be placed along 6400 West.
14. Final plat and subdivision improvement plans to conform to final review comments and review responses dated Dec 21, 2023/Jan 5, 2024, except as superseded by above stipulations.

Commissioner Claude Jones **SECONDED** the motion.

The vote was recorded as follows:

Commissioner Jerry Abbott	Absent
Commissioner Tracy Hill	Yes
Commissioner Christopher Howden	Yes
Commissioner Claude Jones	Yes

Commissioner Debra Maughan	Absent
Commissioner Audrey Moore	Yes
Commissioner Trent Thayn	Yes

*The motion carried 5:0*

#### **4. PLANNING COMMISSION AND STAFF COMMUNICATION ITEMS**

The Planning Commission may discuss and receive updates on City events, projects, and issues from the Planning Commissioners and city staff. Topics discussed will be informational only. No final action will be taken on communication items.

##### **a. Future Meetings**

- February 6, City Council, 7:00 pm, City Hall
- February 20, City Council, 7:00 pm, City Hall
- February 27, Planning Commission, 7:00 pm, City Hall

Mr. Baughman mentioned that the council would discuss 4800 West during a work session on January 31.

#### **ADJOURNMENT**

*Commissioner Trent Thayn MOVED to adjourn the meeting. Commissioner Chris Howden SECONDED the motion. All were in favor. The motion carried.*

The meeting ended at 8:43 pm.

I, Heather White, Planning Commission Secretary, hereby certify that the foregoing minutes represent a true, accurate and complete record of the meeting held on January 23, 2024. The document constitutes the official minutes for the Highland City Planning Commission Meeting.





# HIGHLAND PLANNING COMMISSION MINUTES


TUESDAY, FEBRUARY 27, 2024

Highland City Council Chambers, 5400 West Civic Center Drive, Highland Utah 84003

Waiting Formal Approval

## VIRTUAL PARTICIPATION

 YouTube Live: <http://bit.ly/HC-youtube>

 Email comments prior to meeting: [planningcommission@highlandcity.org](mailto:planningcommission@highlandcity.org)

### 7:00 PM REGULAR SESSION

Call to Order: Chair Audrey Moore

Invocation: Commissioner Christopher Howden

Pledge of Allegiance: Commissioner Debra Maughan

The meeting was called to order by Commissioner Audrey Moore as a regular session at 7:02 pm. The meeting agenda was posted on the *Utah State Public Meeting Website* at least 24 hours prior to the meeting. The prayer was offered by Commissioner Howden and those in attendance were led in the Pledge of Allegiance by Commissioner Maughan.

**PRESIDING:** Commissioner Audrey Moore

### COMMISSIONERS

**PRESENT:** Christopher Howden, Sherry Kramer, Trent Thayn, Debra Maughan, Wesley Warren

**CITY STAFF PRESENT:** Mayor Kurt Ostler, Assistant City Administrator /Community Development Director Jay Baughman, Public Works Administrative Assistant Gretchen Homer, City Attorney Rob Patterson, City Engineer Andy Spencer, Planning Commission Secretary Heather White

**OTHERS PRESENT:** See attendance list

### 1. UNSCHEDULED PUBLIC APPEARANCES

Please limit comments to three minutes per person. Please state your name.

Resident Shellie Biesele invited commissioners to walk from Manor Drive across 4800 West. She said she walked that route daily and it was not safe because many drivers along 4800 West did not stop in the turn lane.

## **2. PRESENTATIONS**

### **a. Swearing in New Planning Commission Members** *General City Management Jay Baughman, Assistant City Administrator/Community Development Director*

Planning Commission Alternates Sherry Kramer and Wesley Warren were recommended by the Mayor and approved by the City Council at the February 20th City Council meeting. These new Commissioners will now be sworn in.

Commission Alternates Sherry Kramer and Wesley Warren were sworn in by Ms. Homer. They were invited to participate in the meeting.

### **b. Open and Public Meeting Training**

Mr. Patterson reviewed the details of the Public Meetings Act.

Commissioner Thayn wondered if posting requirements were followed for the recent neighborhood meeting. He also wondered if public comments sent to the city regarding an agenda item were posted prior to meetings. Mr. Patterson explained that a Notice of Quorum was posted for both the Council and Planning Commission in anticipation of possible attendance at the neighborhood meeting. He also explained that public comment sent to the city for a specific agenda item was not posted or sent to the public. The exception was if someone asked for comments to be read during a meeting that they could not attend.

Commissioner Howden wondered how many commissioners could be in one area without notice. Mr. Patterson explained that two to three commissioners were okay at casual or chance meetings because a quorum consisted of four commissioners.

Mr. Patterson reviewed the difference between legislative action vs. administrative action.

## **3. CONSENT ITEMS**

Items on the consent agenda are of a routine nature. They are intended to be acted upon in one motion. Items on the consent agenda may be pulled for separate consideration.

### **a. Approval of Meeting Minutes**

*Commissioner Thayn MOVED to approve the minutes from the January 23, 2024 Planning Commission Meeting.*

*Question on the Motion:*

Commissioner Kramer asked that the minutes be reviewed and to clarify comments from Ms. Rice regarding Millhaven and building on lots near the wash.

Commissioner Thayn withdrew his previous motion.

*Commissioner Thayn MOVED to continue the approval of the minutes from the January 23, 2024 meeting to the next Planning Commission meeting in order to check the record regarding Ms. Rice's comments.*

*Commissioner Maughan SECONDED the motion.*

*The vote was recorded as follows:*

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Absent</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Absent</i>
<i>Commissioner Debra Maughan</i>	<i>Yes</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>Yes</i>
<i>Commissioner Alternate Sherry Kramer</i>	<i>Yes</i>
<i>Commissioner Alternate Wesley Warren</i>	<i>Yes</i>

*The motion carried 6:0*

#### **4. ACTION ITEMS**

- a. ACTION: Election of 2024 Chair and Vice Chair General City**  
*Management Rob Patterson, City Attorney*  
Selection of chair and vice-chair for 2024.

*Commissioner Thayn MOVED that the Planning Commission select Commissioner Audrey Moore as Planning Commission chair and Commissioner Chris Howden as Planning Commission vice-chair.*

*Commissioner Maughan SECONDED the motion.*

*The vote was recorded as follows:*

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Absent</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Absent</i>
<i>Commissioner Debra Maughan</i>	<i>Yes</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>Yes</i>
<i>Commissioner Alternate Sherry Kramer</i>	<i>Yes</i>
<i>Commissioner Alternate Wesley Warren</i>	<i>Yes</i>

*The motion carried 6:0*

- b. ACTION: PUBLIC HEARING: 4800 General Plan Amendment General Plan Amendment**  
*(Legislative)*  
*Rob Patterson, City Attorney*  
The Planning Commission will consider whether to recommend amending the transportation element in the City's general plan to re-designate a portion of 4800 W between SR-92 and 11200 North from a 3-lane major collector to a 5-lane arterial.

Mr. Spencer reviewed the history of the area. He said the study presented tonight was based on 2050 traffic  
Highland Planning Commission FINAL DRAFT Minutes ~ February 27, 2024

projections and that staff was trying to address traffic needs of the city as a whole. Mr. Patterson explained that cities were required to have a circulation and transportation network, study, or plan that classified various roads. He explained that Highland applied for funding in 2022 to improve the 4800 West/ SR-92 intersection with a design that aligned lanes through the intersection, provided shoulders for driveway exits and bicycle lanes, provided two-way left turn lanes, created a multi-use trail on the east side, and improved pedestrian crossings. That funding application was eventually approved. The project was expected to move forward in 2026. Since the 2022 funding request and project scope was approved, City staff continued to work to improve the safety of the SR-92/4800 West intersection. Additional studies to resolve remaining safety issues were conducted. Staff worked with UDOT (Utah Department of Transportation) to improve signal timing, striping/painting, and signage. These improvements helped but did not fully resolve traffic and safety concerns at the intersection. He showed pictures of the 2022 plan versus a proposed plan based on 2050 projections from the recent Hales Engineering traffic study.

Commissioner Moore mentioned that several years ago there was discussion regarding a road connection to Little Cottonwood Canyon. Mr. Spencer said no one approached Highland recently about the connection and did not think it was being pursued. He said a road connection to Little Cottonwood Canyon was not considered in the traffic study. He talked about the process that MAG (Mountainland Association of Governments) and UDOT followed to do road planning and projections.

Mr. Patterson explained that staff continued with the intersection improvement project approved in 2022. MAG preferred to support a project on 4800 West that would permanently resolve the intersection safety and capacity concerns. To evaluate the need for additional improvements beyond the scope of the approved 2022 project, an additional, independent traffic study from Hales Engineering was commissioned. He said the purpose of this study was to determine what improvements, if any, would be necessary to address ongoing safety and capacity issues with 4800 West/SR-92. He talked about the need to support Alpine traffic through Highland. He summarized the findings in the traffic report and explained that the intersection would need to be improved more than what was approved in 2022. The report found that the intersection would continue to degrade. He reviewed the recommendations from the traffic study. He said the impact to all residents needed to be considered. He showed digital mapping of the current intersection as well as a computer model based on the proposed improvements.

Commissioner Moore opened the public hearing at 8:15 PM and asked for public comment.

Resident Spencer Robison read the email he sent to the city. His comments compared the traffic study done in 2022 and the recent study by Hales Engineering. He pointed out that on page 16 of the Hales study it was determined that the intersection was operating at an acceptable level of service during morning and evening peak hours. He said that right now there was no problem. He talked about significant queueing from the southbound approach and that distracted driving contributed to it. Mr. Robison then compared traffic counts from the 2020 and 2024 traffic studies. He said traffic decreased 20% from 2020 to 2024. He spoke about the amount of PM traffic going through the intersection and said only 1/3 of the traffic went straight through the intersection. He found it hard to understand the need for two northbound lanes. He cited numbers for eastbound traffic compared to the MAG population growth study and said the math didn't work. Mr. Robison looked at the morning traffic and pointed out that the Hales projections of 570 cars coming from the north in 2050 was the same traffic counts that were recorded in 2020. He said according to the Hales study, the worst case scenario was already experienced in 2020. When strictly reviewing the numbers, it made it hard for him to understand why more lanes were needed. He said the traffic studies did not show the need for additional lanes. Commissioner Thayne expressed interest in hearing Mr. Robison's opinions and what he thought should be done.

Resident John Ort appreciated hearing about the background. He thought another option might be to make North County Blvd one way north of SR-92. He proposed to make Alpine Highway five lanes, allowing

drivers to turn left onto SR-92 with two lanes going south to North County Blvd. He said Alpine Highway was not currently used as a true five-lane connector arterial and it needed to be two lanes in each direction. He said drivers should be able to turn and head south with two lanes. He pointed out that property could be taken on just one corner. He said another outlet should be used, maybe the gravel pit, for access to SR-92, but North County Blvd should be kept to a narrow residential street with decreased speed to 25 mph (miles/hour), speed bumps, and lower noise levels.

Resident Stan Biesele pointed out that the computer model showed people walking along sidewalks and having conversations at the end of the driveway. He said it was unrealistic. People were not able to have conversations in front yards anymore. He said widening I-15 did not reduce the number of accidents. Instead it made room for more cars. He thought paving more of Highland would make it more convenient for outlying cities to drive through. Decreased property values and increased traffic made it almost impossible to live near the intersection right now. His kids needed to cross the road to get to school and it was already almost impossible to do without injury.

Resident Chad Broadhead said the amount of savings from the last report to the 2024 report was eight seconds during the morning commute. He talked about watching an accident that had nothing to do with north/south traffic. He said Lone Peak High School was not growing more from Alpine and demographics were changing rapidly. He thought the numbers in the study did not align with what was happening in the community. Because of this, he thought the study was erroneous. He said safety was a concern and mentioned an autistic family member who crossed 4800 W. He said light changes and other items were previously discussed with UDOT and thought they kept fighting the same things over and over. He agreed that there needed to be a solution, but said driveways would be too short with the proposed plan.

Resident Rochelle Broadhead said she would not want a five-lane highway with a 10-ft path. She did not think anyone would use it. She said it made no sense when the population was decreasing. She did not feel heard or any of their points taken seriously. Ms. Broadhead said she had not seen any difference in signage. She agreed with Mr. Robison's comments and asked the commissioners to think about the small impact it would have on Highland residents. She thought an additional road was needed above the gravel pit.

Resident Shane Davenport agreed with other public comments and was grateful for Mr. Robison's preparations. He said almost 25% of accidents at the intersection were eastbound traffic heading south. He said the statistics from the traffic study were not going to change very much from now to 2050. He pointed out that the Hales study reported the intersection was currently running at an acceptable level. He also said that minor changes helped the intersection according to the Hales study. Mr. Davenport suggested that the city consider additional minor changes that could improve the intersection before digging up yards and changing the make-up of Highland. He hoped the city would review the stats from MAG before making big changes.

Resident Deeanna Pymm agreed with other public comments. She talked about cleaning up accidents from her yard and said crossing the road to visit neighbors was scary. She said adding two left-turning lanes helped with traffic. She talked about the expansion to the Pleasant Grove freeway off ramp and said it was a mess. She said people needed to go back to Driver's Ed, slow down, and maintain their lane.

Resident Trent Boggess did not understand why Highland was entertaining the proposed amendment. He thought it clearly benefitted Alpine and damaged Highland. He said the commissioners represented Highland residents, not UDOT, not MAG, nor Alpine. He talked about who the noise and traffic damages home values. Mr. Boggess said the eminent domain process was terrible and very unfair and thought there would need to be a total taking for some of the homes. He talked about his understanding of the eminent domain process and hoped the city considered the Highland residents.

Alpine Resident Landon Bye said Alpine residents did not want help from Highland City. He said Alpine city

pushed to change their policy without notifying anyone. He said Alpine City told residents they were not allowed to talk at their meeting. He appreciated that Highland notified neighbors. In all the meetings he attended, he had not heard one resident say the change was a good idea, including those from Alpine. He appreciated Mr. Robison's work in looking at the numbers. He thought Alpine City would push for five lanes to the round-a-about if the road became five lanes in Highland. He thought it would be nice to align the road going north, but otherwise said it should be left alone.

Resident George Bishop didn't think there was anything that could be done to fix the intersection. He said more major improvements would result in more accidents and problems. He talked about having trouble getting out of his driveway in the mornings because teenage drivers did not let him out. He said two turn lanes from SR-92 going north were not needed. Five lanes were not needed going north of the intersection. He said the southbound lane on 4800 West, turning west, was very underutilized and thought it could easily be a dual-use lane going straight and turning. He pointed out that there was no compensation for diminished property value when property was taken from residents. He talked about neighbors who would be greatly impacted with the proposed changes and asked commissioners to consider the lives of those who were impacted.

Resident Peter Olsen agreed with public comment thus far, especially Mr. Boggess when he said the proposed change was to fix an Alpine problem at the cost of Highland residents. He said people would drive faster on a five-lane road which made it less safe and created more noise. He didn't think the computer model accurately showed how close the road would be to some of the homes. He said the proposed road improvements would ruin the value of some of the homes. His house had a bedroom less than 30 ft from the road and widening the road would make it worse.

Resident Kurt Nelson agreed 100% with comments from the public. He wished he had trust that the five lanes would not continue to Alpine.

Resident Scott Pymm said he's had five or six cars end up in his front yard, mostly high school drivers, since moving to their house eight years ago. He suggested making a belt route up and over the gravel pit into Alpine since most of the traffic came from Alpine.

Resident Amy Olsen talked about the potential negative effects of noise pollution, including increased risk of cardiovascular events and disease, increased stress and mental health disorders. She said the city would risk the health of Highland residents because of noise from a five-lane road. As a mom of new drivers, she could not imagine road speeds getting faster. She said the speed was already intense and accidents would increase.

Resident Shellie Biesele said she agreed with public comments.

Resident Ethan Budiman said he would lose the most property with the proposed improvements, but most people in attendance would lose property. He agreed with previous comments and thought residents would be losing a lot while gaining very little. He said it seemed that most accidents were front/rear collisions and encouraged everyone to take more time to really look at the data.

Commissioner Moore asked for additional comments. Hearing none, she closed the public hearing at 8:52 PM. She asked for additional discussion and wondered if the Hales report took into account the population growth from the development south of Lone Peak. Mr. Spencer said the MAG travel demand study considered the Ridgeview land use, so it might have been included in a general sense, but he was not sure. Mr. Patterson said the development would be 689 units of various product types. Commissioner Moore speculated that the development would not have heavy commuter traffic to Alpine, but they would use SR-92. She also wondered if Canal Blvd had any impact on traffic when comparing both the 2020 and 2024 studies. Mr. Spencer said he would ask Hales Engineering, but thought it took some of the traffic off of SR-92.

Commissioner Trent Thayne thought Highland had a responsibility to neighboring cities but did not think a five-lane road was needed going north. He thought it was recently determined that the safety of the intersection was the priority. He talked about the need for fixing the alignment and wondered if the road could be aligned without making it five lanes. Mr. Patterson explained that the 2022 proposal already funded by MAG would correct the alignment. He added that the recent recommendations from Hales Engineering focused more on getting people in and out of the intersection.

Commissioner Warren wondered who else the city had consulted with about this project. He wondered if a wholistic road safety study was done that looked at other alternative mobility considerations for pedestrians, runners, and cyclists, as well as drivers. Mr. Spencer said the city commissioned its own traffic study and asked the engineer for recommendations to fix the intersection. Mr. Spencer thought the engineer mostly looked at a vehicular solution. Commissioner Warren said he had been interested in the issue for about 15 years. He wondered if cities could remain small without promoting traffic and if they could also be friendly to cyclists and pedestrians. He reviewed crash data from the last 14 years and said the number of accidents had been constant. There were 78 crashes between 2012-2017 and 82 crashes between 2018-2023. He said data showed that 60-70% of crashes were teenagers. Commissioner Warren didn't think there was any indication that the intersection was inherently unsafe. He reviewed the day and hour of most crashes and said morning and evening commutes had the fewest number of accidents. He thought a little congestion was safer. He said he balked at the traffic studies and had zero confidence in them. He said it was proven that expanding highway capacity increased vehicle use. After seriously reviewed the data, he thought there were a lot of holes in the methodology as well as the data collected. He did not see anything compelling to change the general plan.

Commissioner Maughan was against the proposed change. She thought there was no doubt that Alpine would continue the five-lane road that would eventually filter into a single-lane roundabout. She offered to give a school assembly with pictures showing new students where to turn, stop, and go. She thought this change would impact the feel of the east side of Highland. She thought more that could be done for less money and impact said it was too soon to take property.

Commissioner Kramer was surprised to see a proposed five-lane road through the neighborhood. She talked about driving on a similar road in Salt Lake County and liked that they prioritized the quality of life of residents.

Commissioner Howden thought Highland was already divided by big roads. He discussed different concepts of roads and moving traffic; one where cars moved quickly on big roads and the other where smaller roads kept the city looking quaint and charming. He said one concept wasn't better than the other, but residents needed to be honest about what they really wanted and how it would affect commutes and drive time. He said he respected city staff and understood the position they were in. He did not think the proposed amendment was necessary and said he was biased to smaller roads and lower speed limits.

Commissioner Moore thought the number of accidents was high. She said the intersection was not safe, partly because of tourists and the canyon. She said the lines on the road were sometimes hard to see and that it was difficult to turn east onto SR-92. She talked about the lanes not lining up and out-of-town people not knowing where to drive. She said something needed to be done to make it safer and suggested painting arrows in the lanes on SR-92 and posting better signs. She did not see the need to expand the road to the north. She didn't feel like she had ever received a good explanation as to why Alpine Highway wasn't an option and thought it could be better utilized.

The commissioners talked about how the problem was first identified and if the issue should be addressed later with the upcoming general plan update. Mayor Ostler explained why the intersection was being discussed again. He said the city was about to get funding for the 2022 approved project. MAG asked Highland if there was anything else needed to improve the intersection. He said a full study of the gravel pit was performed as

well as a full active transportation plan that looked at bike lanes and pedestrians. There were four different engineering firms that did studies. Staff also met with UDOT. Timing of the lights, striping, and signs were changed. He said this was the last time to consider improvements because MAG would not approve more changes for this intersection in the next six to ten years. He said the city could not afford to make improvements to the intersection without MAG.

Commissioner Thayn encouraged residents to attend the council meeting for this discussion. He strongly believed that the city should listen more to the professionals who prepared the report.

*MOTION: Commissioner Howden MOVED that the Planning Commission recommend denial of the proposed General Plan amendment based on the following findings:*

- 1. Studies show that the volume of traffic would not increase in a material and substantial way.*
- 2. Significant and disproportionate impact on residents.*
- 3. Lack of perceived value to any of the highland residents.*

*Commissioner Maughan SECONDED the motion.*

*The vote was recorded as follows:*

<i>Commissioner Jerry Abbott</i>	<i>Absent</i>
<i>Commissioner Tracy Hill</i>	<i>Absent</i>
<i>Commissioner Christopher Howden</i>	<i>Yes</i>
<i>Commissioner Claude Jones</i>	<i>Absent</i>
<i>Commissioner Debra Maughan</i>	<i>Yes</i>
<i>Commissioner Audrey Moore</i>	<i>Yes</i>
<i>Commissioner Trent Thayn</i>	<i>No</i>
<i>Commissioner Alternate Sherry Kramer</i>	<i>Yes</i>
<i>Commissioner Alternate Wesley Warren</i>	<i>Yes</i>

*The motion carried 5:1*

Mr. Patterson encouraged residents to attend the March 12<sup>th</sup> Council meeting. He spoke about ways to contact councilmembers and other city officials.

## **ADJOURNMENT**

*Commissioner Howden MOVED to adjourn the meeting. Commissioner Thayn SECONDED the motion. All were in favor. The motion carried.*

The meeting ended at 9:58 PM.



record of the meeting held on February 27, 2024. The document constitutes the official minutes for the Highland City Planning Commission Meeting.

DRAFT



# PLANNING COMMISSION AGENDA REPORT ITEM #3a

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**DATE:** April 23, 2024  
**TO:** Planning Commission  
**FROM:** Rob Patterson, City Attorney/Planning & Zoning Administrator  
**SUBJECT:** Public Hearing: CU-24-01 Church Pavilion Conditional Use Permit  
**TYPE:** Land Use (Administrative)

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## **PURPOSE:**

The Planning Commission will hold a public hearing to consider and make a recommendation to the City Council on a request from the Church of Jesus Christ of Latter-day Saints for a conditional use permit to construct a pavilion.

## **STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission hold a public hearing and recommend APPROVAL of the condition use permit subject to the three (3) recommended stipulations from staff.

## **PRIOR REVIEW:**

None.

## **BACKGROUND & SUMMARY OF REQUEST:**

The applicant seeks to build a pavilion with a drinking fountain on the church property located at 10494 North Janie Lane (Near Ole Bish Lane to the east of North County Boulevard). The property is zoned R-1-40, which allows as a conditional use "churches, church grounds, and accessory buildings associated with the maintenance of those grounds, not including temporary facilities."

Under state and City code, conditional use permits must be approved if reasonable conditions can be imposed to mitigate reasonably anticipated detrimental effects of the proposed use in accordance with objective, written standards. The Planning Commission makes recommendations to the City Council after holding a public hearing regarding a conditional use permit. The City Council is the final land use authority for a conditional use permit.

## **STAFF REVIEW & PROPOSED FINDINGS:**

### *Zoning*

- R-1-40 zoning allows the use as a conditional use
- Setbacks: Accessory structures setbacks are 30 feet from the front property line or consistent with the primary dwelling and 10 feet from all side property lines (for structures under 3,000 sqft). Because the church building is not a "primary dwelling," staff believes it is appropriate to use a 30-foot front setback, rather than requiring the pavilion to be consistent with the church building. The proposed pavilion meets the 30-foot front and 10-foot side setback requirements.
- Size: Height is restricted to 25 feet from grade, and accessory structures may only cover up to

7% of the lot, to a maximum of 8,000 square feet. The pavilion and other accessory structures meet these requirements with a height of approximately 13' 2", and a total accessory structure coverage of under 3,000 square feet on a 3.8 acre lot.

#### *Conditional Use Considerations*

HDC 4-104(3) outlines several factors that the City may consider related to conditional uses, summarized below:

- The location of the structure in relation to traffic and impact on adjacent uses
- Impact of the proposed use on surrounding uses
- Safety considerations
- Health and sanitation
- Environmental issues
- Compliance with general plan and characteristics of the neighborhood

After reviewing the factors described above and the proposed use and plans as submitted by the applicant, staff believes that the pavilion will have a minimal impact to adjacent uses, safety, the environment, the general plan, and health and sanitation, with two exceptions. The only concern staff has relates to proper utility connections for the proposed drinking fountain, which is a potential health and safety concern (HDC 4-104(3)(d(i)). Staff would require that the water service to the pavilion and fountain be connected to the church's existing water meter and lateral, with no new meter or later provided to avoid duplicated meters on the property and unnecessary impacts to City road and utility infrastructure. Staff would also require that a backflow presenter be installed with the drinking fountain to protect the City's culinary water system from contamination.

#### **STIPULATIONS**

Accordingly, staff recommends that the Planning Commission recommend APPROVAL of the condition use permit subject to the following three (3) stipulations:

1. Water service to pavilion must connect from existing water meter, and no new water lateral/meter will be permitted from Janie Lane
2. Backflow presenter is required for culinary water service to pavilion
3. Approval is for conditional use permit only. Separate building permit is required, and actual construction to comply with all applicable building code requirements.

#### **FINDINGS**

Based on staff's review, as summarized above, Staff would also recommend the following findings:

- A. The proposed use complies with the general plan and R-1-40 standards
- B. There is a reasonably anticipated detrimental effect from allowing a second meter and lateral to the proposed drinking fountain, as adding a second meter would not meet City standards, and installing a new lateral would cause unnecessary damage to the City's roadway infrastructure and shorten the lifespan of the infrastructure. There is an existing, adequate water meter and connection to the church property that can be used instead.
- C. There is a reasonably anticipated detrimental effect from the proposed use as it relates to proposed drinking fountain. Outdoor drinking fountains pose a risk of contaminating the drinking water supply if a backflow preventer is not installed.
- D. The proposed stipulations mitigate the above-described detrimental effects and ensure

compliance with state and City codes.

**MOTION:**

I move that the Planning Commission accept the findings and recommend APPROVAL of the conditional use permit subject to the three (3) stipulations recommended by staff.

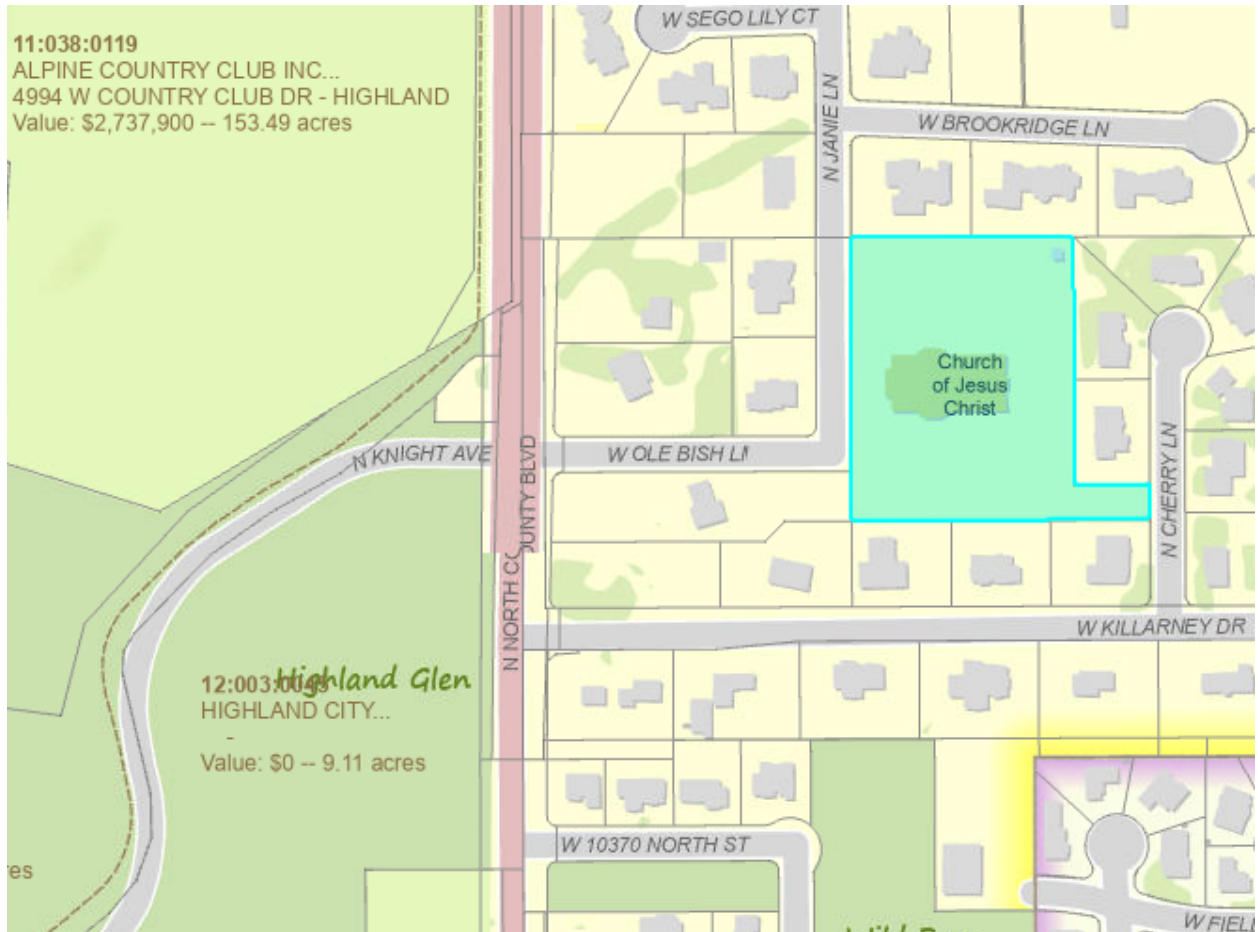
**ATTACHMENTS:**

1. Vicinity Map
2. Canyon View - Project Narrative
3. Canyon View - Drawings

## Vicinity Map

Address: 10494 North Janie Lane

Parcel: 41:430:0047





## PROJECT NARRATIVE

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DATE:	March 21, 2024
PROJECT:	Canyon View Pavilion
	Highland UT East Stake
PROJECT ADDRESS:	10494 North Janie Lane
	Highland, Utah

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To Whom it May Concern,

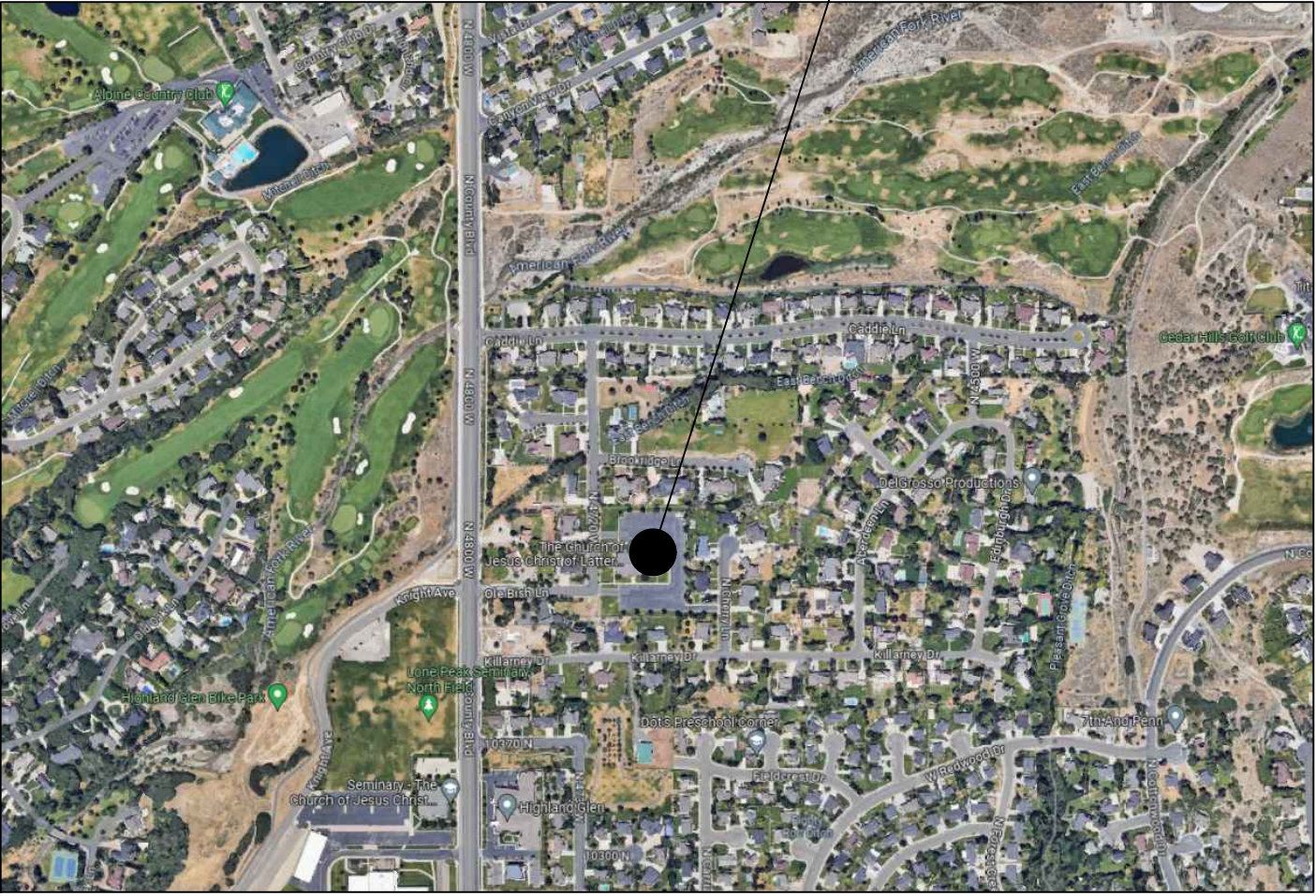
The Church of Jesus Christ of Latter-day Saints is proposing to construct a new 30 foot x 60 foot pavilion in the northwest corner of the existing site. The current area is a flat lawn area. The pavilion will be painted steel columns, glu-lam beams with asphalt shingle roofing to match the existing church.

Thanks,  
Chad Spencer  
ea architecture



A New Pavilion for:

Canyon View  
Highland UT East Stake

Consultant	Consultant Name	Address	Contact	Phone	E-mail	Vicinity Map
ARCHITECT:	Evans & Associates Architecture	11576 South State Street #103B	Chad Spencer	(801) 553-8272	chad@studio-ea.com	
STRUCTURAL ENGINEER:	Farley Engineering	1917 East Osage Orange Ave	Doug Farley	(801) 573-3151	doug@farleyeng.com	
ELECTRICAL ENGINEER:	Envision Engineering	240 East Morris Avenue, Suite 200	Scott Kingery	(801) 534-1130	skingery@envisioneng.com	

Drawing Index

G101	Cover Sheet
C101	Site Plan
C811	Pavilion Plans Views
C812	Pavilion Elevations, Roof Details, Footing Details
C813	Pavilion Structural Framing Details
EG101	Symbols and Notes
EE101	Pavilion Electrical Plan

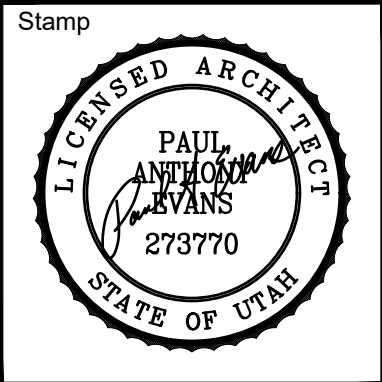
List of Responsibility

30x60 Pavilion including columns, base plates, beams, and metal roof panels
• Owner provided and delivered to the site; contractor unloaded and installed
Picnic Tables
• Owner provided and delivered to the site; contractor unloaded and assembled
Demolition, Site Preparation, etc.
• Contractor
Concrete and all associated Reinforcing and Materials
• Contractor
Lighting, Power and all associated Materials
• Contractor



evans + associates architecture  
11576 south state street, suite 103b, draper, utah 84020  
Phone (801) 553-8272

Stamp



A New Pavilion for:  
Canyon View  
Highland UT East Stake

10494 North Janie Lane  
Highland, Utah

Project for:

THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

Revisions		Description			
Mark	Date				

Project Number 24-21
Plan Series Pavilion
Property Number 551-4142-23010101
Date March 21, 2024

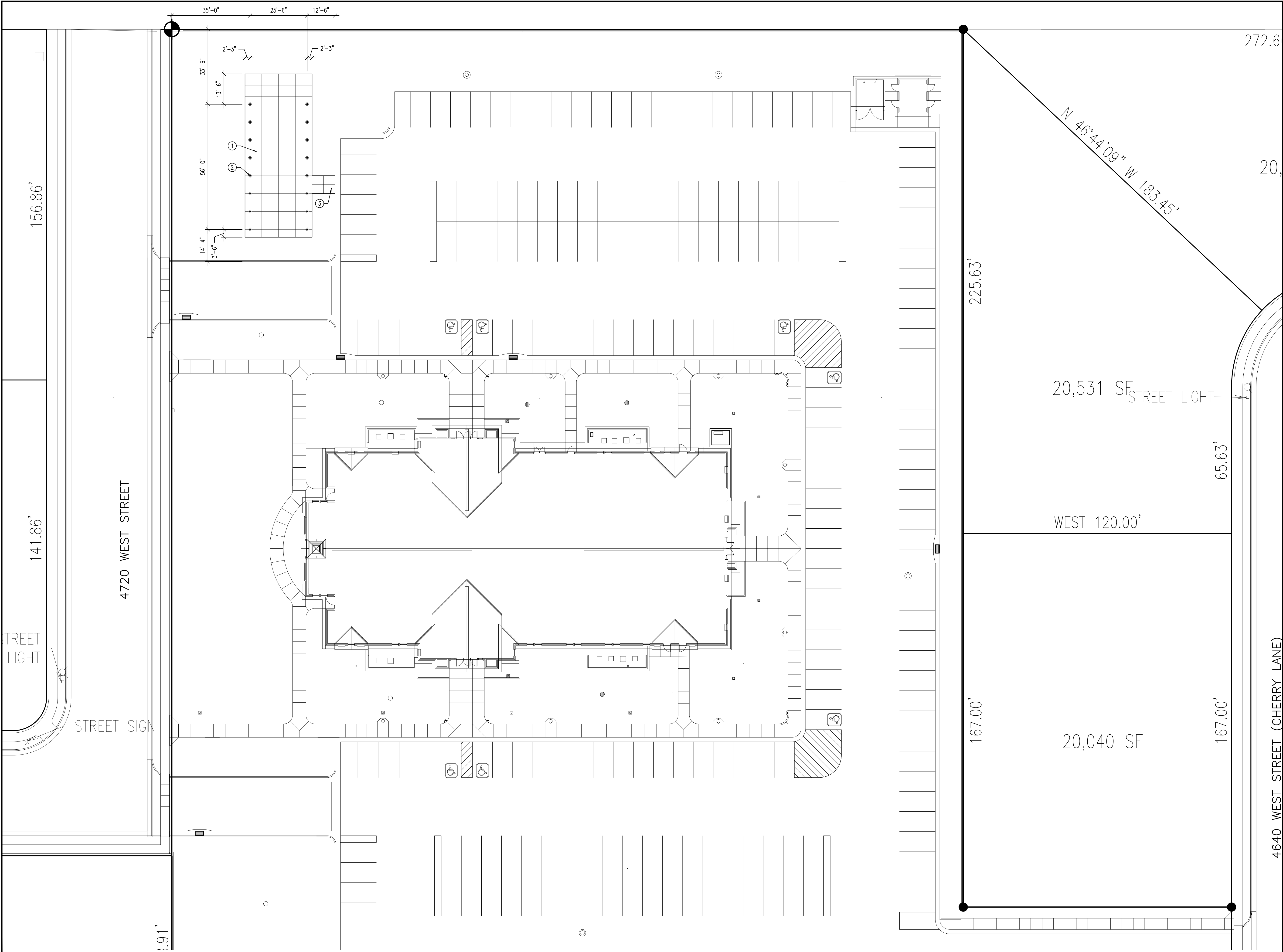
Sheet Title

COVER SHEET

Sheet

G101





KEYED NOTES	
1.	4" CONCRETE SLAB OVER 4" CLEAN GRANULAR BASE
2.	PAVILION STEEL COLUMN; SEE PAVILION DRAWINGS
3.	4" CONCRETE WALK OVER 4" CLEAN GRANULAR BASE

evans + associates architecture

11576 south state street, suite 103b, draper, utah 84020

Phone 8019339422 Fax 8019339423

Stamp

A New Pavilion for:

Canyon View

Highland UT East Stake

10464 North Janie Lane

Highland, Utah

Project for:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Mark	Date	Description

Project Number

24-21

Plan Series

Pavilion

Property Number

551-4142-23010101

Date

March 21, 2024

Sheet Title

ARCHITECTURAL SITE PLAN

Sheet

C101

ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'-0"





DESIGN CRITERIA:

- 2021 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS
- TYPE OF CONSTRUCTION: TYPE II-B.
- BUILDING USE: ASSEMBLY A-3
- BUILDING OCCUPANCY CATEGORY: II
- BUILDING HEIGHT: PER PLANS
- BUILDING VOLUME: 19,800 CU. FT.
- NO. OF OCCUPANTS: 120
- ROOF DEAD LOAD - 11 PSF PLUS FRAMING WEIGHT
  - SHINGLES AND FELT: 3.5 PSF
  - DIAPHRAGM SHEATHING: 2.3 PSF
  - WOOD DECK: 4.0 PSF
  - MISCELLANEOUS: 1.2 PSF
- ROOF LIVE LOAD - 20 PSF
- SNOW LOAD
  - P<sub>g</sub>: 38 PSF (GROUND SNOW LOAD)
  - P<sub>f</sub> = 0.7 \* P<sub>g</sub> \* C<sub>e</sub> \* C<sub>t</sub> \* I<sub>s</sub> = 38 PSF (ROOF SNOW LOAD)
  - BUILDING ELEVATION: 4321 FT
    - P<sub>s</sub> = P<sub>f</sub> C<sub>s</sub>
      - C<sub>s</sub>: 1.0 FOR A 4:12 PITCH
      - P<sub>s</sub>: 38 PSF
- WIND LOAD (ULTIMATE)
  - V<sub>3s</sub>: 115 MPH
  - EXPOSURE: C
  - W: 1.00
- SEISMIC LOAD (ULTIMATE)
  - I<sub>e</sub>: 1.00
  - S<sub>s</sub>: 1.48
  - S<sub>1</sub>: 0.53
  - S<sub>ds</sub>: 0.91
  - S<sub>d1</sub>: 0.99
  - Ω<sub>o</sub>: 1.25
  - C<sub>d</sub>: 2.5
  - SITE CLASS: D
  - SEISMIC DESIGN CATEGORY: D
  - R: 1.25 (CANTILEVERED STEEL COLUMNS)
  - EQUIVALENT LATERAL FORCE PROCEDURE
  - C<sub>s</sub> = 0.82
- ALLOWABLE SOIL BEARING PRESSURE:
  - 1500 PSF
  - ALLOWABLE FOUNDATION AND LATERAL PRESSURE = 100 PSF/FT BELOW NATURAL GRADE (TABLE 1806.2 OF 2021 IBC).
  - USE CONSTRAINED CONDITIONS FOR CONCRETE PIERS
  - COORDINATE ALL SITE GRADING AND SOIL WORK WITH THE SOILS REPORT.

PAVILION CONSTRUCTION SEQUENCE NOTES:

- VERIFY PERMIT REQUIREMENTS BEFORE SIGNING CONTRACTS.
  - BUILDING PERMIT
  - PLANNING OR CONDITIONAL USE PERMIT
  - OBTAIN REQUIRED USE PERMIT
- REMOVE ALL VEGETATION, ROCKS, OUTCROPPINGS, AND TREES FROM LOCATION OF PAVILION SLAB. STRIP 6" OF TOP SOIL.
- LEVEL PAVILION BUILDING AREA. AVOID GRADING THAT ALLOWS WATER TO DRAIN TOWARD PAVILION.
- DIG COLUMN CAISSONS.
- PLACE COLUMN CAISSON FORMS AND SET REINFORCING STEEL.
- SET COLUMN ANCHOR BOLTS USING PLYWOOD TEMPLATE OF APPROXIMATELY THE SAME SIZE AS COLUMN BASE PLATE TO INSURE BOLT LOCATION ACCURACY.
- PLACE CONCRETE IN CAISSON FORMS FROM BOTTOM OF PIER UP TO A LEVEL 1-1/2" BELOW BOTTOM OF COLUMN BASE PLATE. LET CONCRETE CURE 7 DAYS.
- SET HSS COLUMNS OVER PRE-SET ANCHOR BOLTS ALLOWING COLUMNS TO REST ON LEVELING NUTS AND 1/4"x 3" PLATE WASHERS. LEVELING NUTS ARE TO BE USED TO SET COLUMNS PLUMB AND TRUE AND AT CORRECT BEARING HEIGHT TO RECEIVE GLU-LAM BEAMS.
- AFTER COLUMNS ARE SET PLUMB AND TRUE, VERIFY ACCURACY OF DIMENSIONS BETWEEN COLUMNS AND SECURE COLUMNS IN PLACE USING 1/4"x 3" PLATE WASHERS UNDER NUTS, TIGHTEN NUTS WITH ADDITIONAL 1/4 TURN PAST SNUG.
- THE WEIGHT OF GLU-LAM BEAMS IS APPROXIMATELY 500 POUNDS EACH. SOME FORM OF MECHANICAL HOIST IS RECOMMENDED FOR SETTING BEAMS ON TOP OF STEEL TUBE COLUMNS.
- NOTCH A 1"x 1" HOLE AT TOP OF BEAMS NEAR CENTER PEAK FOR ELECTRICAL CONDUIT TO PASS THROUGH.
- LIFT GLU-LAM BEAMS AND SET EACH END IN THE COLUMN SADDLE PLATES.
- ANCHOR BEAMS IN SADDLES WITH (8) SIMPSON SDS25112 WOOD SCREWS.
- ONCE GLU-LAM BEAMS ARE SET AND SECURELY BOLTED, ADEQUATELY BRACE EACH BEAM USING 2x LUMBER TO PREVENT BEAMS FROM OVERTURNING UNTIL ROOF DECK AND ROOF SHEATHING ARE SECURELY ANCHORED IN PLACE.
- SET 2x8 TONGUE AND GROOVE ROOF DECK WITH COMMON OR RING SHANK NAILS IN ACCORDANCE WITH SUPPLIERS' RECOMMENDATIONS.
- INSTALL 2x6 FASCIA BOARD AROUND ENTIRE ROOF PERIMETER. ALIGN TOP OF FASCIA BOARD WITH TOP OF ROOF DECKING.
- INSTALL WOOD ROOF SHEATHING OVER 2x8 TONGUE AND GROOVE ROOF DECK AT 45 DEGREES AS SHOWN IN ROOF DIAPHRAGM DETAIL.
- LAY 30 POUND FELT UNDERLAYMENT OVER ENTIRE ROOF STARTING AT FASCIA DRIP EDGE, OVERLAP EACH ROLL 6" AS FELTS ARE LAID OVER RIDGE.
- INSTALL PRE-FINISHED METAL DRIP EDGING ON ALL PERIMETER EDGES OF ROOF.
- INSTALL FIBERGLASS SHINGLES OVER ROOF UNDERLAYMENT AND PRE-FINISHED METAL DRIP EDGING. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- PLACE NON-SHRINK GROUT UNDER COLUMN BASE PLATES. FINISH NON-SHRINK GROUT EDGES TO 45 DEGREES.
- PLACE REMAINDER OF CONCRETE SLAB ANY TIME AFTER GLU-LAM BEAMS, ROOF DECKING, AND PLYWOOD ROOF SHEATHING ARE SECURELY IN PLACE.
- FINISH TOP SURFACE OF CONCRETE SLAB WITH A LIGHT BROOM FINISH.
- AS SOON AS CONCRETE HAS CURED ENOUGH TO SUPPORT AN EARLY ENTRY SAW (4-6 HOURS AFTER PLACEMENT), CUT CONTROL JOINTS IN SLAB TOP SURFACE. DEPTH OF CONTROL JOINTS IS TO BE 1" DEEP.
- INSTALL MEMBRANE CURING ON CONCRETE SLAB.
- PLACE CONCRETE SLAB TO CURE A MINIMUM OF 7 DAYS BEFORE PROCEEDING WITH REMAINDER OF PAVILION WORK.
- ALL STEEL COLUMNS, SADDLES, BOLTS, AND BASE PLATES TO BE POWDER COATED TOUCH-UP FINISH PAINTING BY OTHERS.
- STAIN ALL EXPOSED WOOD.

SITE PREPARATION:

- REMOVE ALL ORGANIC MATERIAL AND TOPSOIL FROM PAVILION AREA. VERIFY SUITABILITY OF SUBGRADE. FOUNDATIONS ARE TO BE ON UNDISTURBED, NATURAL SOIL OR ENGINEERED FILL EXTENDING TO SUITABLE UNDISTURBED NATURAL SOILS
- PLACE FOOTINGS/CAISSONS IN FIRM UNDISTURBED NATURAL SUBGRADE (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- COMPACT SUBGRADE AND FILL UNDER CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557 (UNLESS NOTED OTHERWISE BY GEOTECHNICAL REPORT).
- INSTALL AND COMPACT 6 INCH GRANULAR BASE BENEATH CONCRETE FLOOR SLAB TO 95 PERCENT OF ASTM D-1557.

UTILITIES:(BY OTHERS)

- INSTALL PLUMBING LINE FOR COLD WATER.
- INSTALL ELECTRICAL LIGHTS, BOXES, CONDUITS, AND SWITCHES.

SPECIFICATIONS:

SCOPE- ONE EACH 30 FOOT BY 60 FOOT PAVILION WITH MINIMUM 4 INCH THICK CONCRETE SLAB. PROVIDE SHINGLES, ROOFING FELTS, FASCIA, SHEATHING, ROOF FRAMING, BEAMS, SOFFIT, CONNECTION HARDWARE, COLUMNS, CONCRETE SLAB, CONCRETE CAISSONS AND FINISHES TO CONSTRUCT COMPLETE PAVILION.

PAVILION HAS BEEN DESIGNED AS A FREE STANDING, OPEN STRUCTURE. RE-ENGINEER PAVILION IF WALLS ARE ADDED, IF STRUCTURE IS TO ADJOIN ANOTHER STRUCTURE, OR IF OTHER SUCH MODIFICATIONS ARE MADE. PROPERLY BRACE WOOD BEAMS AND MEMBERS UNTIL COMPLETE STRUCTURAL SYSTEM HAS BEEN CONSTRUCTED.

CONCRETE:

- CONCRETE SLAB ON GRADE IS TO BE REINFORCED AND BE 4" MINIMUM THICK. INSTALL WITH CRACK CONTROL JOINTS AS SHOWN. SURFACE IS TO HAVE A BULL FLOAT FINISH AND BE LIGHTLY BROOMED.
- EDGE OF SLAB IS TO BE THICKENED TO 8" WIDE AND BE REINFORCED WITH (2) #4 CONTINUOUS BARS. LAP SPLICES 24"
- PROVIDE DEFORMED REINFORCING STEEL BARS CONFORMING TO ASTM A615 WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. SECURELY ANCHOR REINFORCING STEEL, AND PROVIDE CLEARANCES, IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- MINIMUM CONCRETE MIX DESIGN REQUIREMENTS:
  - COMPRESSIVE STRENGTH OF CONCRETE TO BE 4,500 PSI AT 28 DAYS.
  - MAX W/C: 0.45
  - 6% (+/-1.5%) AIR ENTRAINMENT.
  - CEMENT TYPE II/V
- DESIGNED FOR THE FOLLOWING EXPOSURE CATEGORIES AND CLASSES:
  - F2, S1 (PER ACI 318 TABLE 4.2.1)
  - LIMIT SLUMP TO 4" (+/-1")
- VERIFY STRENGTH REQUIREMENTS AND CEMENT TYPE REQUIREMENTS WITH THE GEOTECHNICAL EVALUATION REPORT.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- SLAB TO BE SEALED WITH WEATHERWORKER J-29A CONCRETE SEALER, BY DAYTON SUPERIOR CORPORATION. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- MEMBRANE CONCRETE CURING: USE CLEAR CURE J7wb BY DAYTON SUPERIOR CORPORATION. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS.

STRUCTURAL STEEL:

- ALL STEEL PLATES TO BE ASTM A36
- STEEL TUBES TO BE ASTM A500, GRADE B, F<sub>y</sub> = 46,000 PSI
- ALL WELDING IS TO BE DONE IN ACCORDANCE WITH LATEST AWS STANDARDS. IF WELDS ARE NOT SPECIFIED, ALL WELDS ARE TO DEVELOP THE FULL STRENGTH OF ALL COMPONENT PARTS.
- ALL BOLTS ARE TO BE ASTM A325 EXCEPT THAT ANCHOR BOLTS ARE TO BE ASTM F1554 GRADE 36.
- ALL EXPOSED BOLTS ARE TO BE PAINTED TO MATCH STRUCTURE.
- ALL HOLES IN STEEL TO BE 1/16" LARGER THAN THE DIAMETER OF THE CONNECTING BOLT UNLESS NOTED OTHERWISE.
- ALL FABRICATED STEEL IS TO BE PRIMED AND FINISH POWDER COATED.

WOOD:

- GLU-LAM BEAMS:
  - SOUTHERN YELLOW PINE
  - 24F-V3 STRESS COMBINATION
  - 2-INCH NOMINAL THICK LAMINATIONS
  - 5" MINIMUM WIDTHS
  - RESORCINOL ADHESIVE
  - DOUBLE PITCHED AND TAPERED
  - ARCHITECTURAL APPEARANCE GRADE
  - STAIN AND SEAL FINISH
  - ROOF PITCH IS TO BE 4 VERTICAL TO 12 HORIZONTAL (4:12)
  - MATERIALS, MANUFACTURE AND QUALITY CONTROL OF GLUE LAMINATED BEAMS SHALL BE IN CONFORMANCE WITH "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER" ANSI/AITC A190.1.
- MEMBERS SHALL BE MARKED WITH AN AITC OR APA/EWS QUALITY MARK AND, IN ADDITION, AN AITC OR APA/EWS CERTIFICATE OF CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/AITC A190.1.
- FACTORY SEAL BEAMS AND INDIVIDUALLY WRAP FOR PROTECTION IN TRANSIT, STORAGE, AND ERECTION.
- TEMPORARY STORAGE SHALL CONSIST OF LEVELED BLOCKS, WELL OFF GROUND, SEPARATION WITH WOOD STRIPS FOR AIR CIRCULATION AROUND EACH MEMBER, COVER TOP AND SIDES WITH MOISTURE RESISTANT PAPER.
- USE NON-MARRING SLINGS WHEN HANDLING, DRY-IN ROOF AS SOON AS ERECTED.
- PROTECTIVE WRAPPING SHALL REMAIN ON BEAMS UNTIL DECK HAS BEEN INSTALLED AND SHINGLES APPLIED.
- ROOF FRAMING
  - USE GALVANIZED NAILS.
  - 2x6 FASCIA: NO. 1 SOUTHERN YELLOW PINE, KILN DRIED, CHROMATED COPPER ARSENATE PRESSURE TREATED (0.4 PCF), SURFACED ON FOUR SIDES, AND STAINED. FASCIA IS TO BE FREE OF ANY GROOVES OR INCISIONS.
    - MITER ENDS OF FASCIA AT CORNERS
    - BUTT FASCIA ONLY AT BEAM ENDS
    - FASTEN FASCIA TO BEAM WITH NOT LESS THAN THREE 16d COMMON, GALVANIZED NAILS AT EACH BEAM JUNCTION AT EAVE AND TO OUTLOOKERS WITH TWO 16d COMMON, GALVANIZED NAILS AT EACH RAKE.
  - 2x8 ROOF DECK:
    - DOUGLAS FIR LARCH, SINGLE TONGUED AND GROOVED, SPECIFIED LENGTH, CENTER MATCHED, EDGE VEED TWO SIDES, KILN DRIED, AND STAINED - NO. 2 GRADE.
    - DECK FURNISHED IN SPECIFIED LENGTHS SO ALL JOINTS OCCUR OVER BEAMS - RANDOM LENGTH DECK IS UNACCEPTABLE. DECK SHALL BE INSTALLED WITH A 2 SPAN CONDITION, MINIMUM.
    - INSTALL IN ACCORDANCE WITH SUPPLIER'S SPECIFICATIONS USING 16d COMMON OR RING SHANK NAILS. MINIMUM. NAILING SHALL BE FACE NAILED USING (3) NAILS AT EACH BEARING POINT WITH A 4TH NAIL DIAGONALLY THROUGH THE TONGUE OF THE DECKING MEMBER. NAILS MUST PENETRATE 1-1/2 INCHES INTO SOLID WOOD.
    - INSTALL WITH TONGUES UP ON SLOPED ROOFS.
- ROOF SHEATHING:
  - 7/16" THICK PLYWOOD OR ORIENTED STRAND BOARD COMPLYING WITH STANDARD PS-1 OF THE AMERICAN PLYWOOD ASSOCIATION APA/ANSI A199.1. APPROPRIATE APA STAMP IDENTIFYING FOLLOWING REQUIREMENTS: 24/0 SPAN INDEX RATING, EXTERIOR EXPOSURE, 18 PERCENT MAXIMUM MOISTURE CONTENT WHEN FABRICATED.
  - INSTALL DIRECTLY OVER WOOD TONGUE AND GROOVE ROOF DECKING IN 4'x8' PANELS AT 45 DEGREES TO DECKING. STAGGER PANEL JOINTS APPROXIMATELY 4'-0" AND GAP JOINTS 1/4 INCH. STAPLE AROUND PERIMETER OF EACH PANEL WITH STAPLES AT 2" O.C. PER LINEAR FOOT. STAPLE WITHIN FIELD OF EACH PANEL WITH (2) ROWS OF STAPLES AT 8" O.C.
  - PROTECT SHEATHING WITH 30 POUND FELT IMMEDIATELY AFTER INSTALLATION

ROOF SYSTEM

- 50 YEAR ASPHALT SHINGLE by OWENS CORNING WITH A LIFETIME WARRANTY
- PROFILE NOMINAL SIZE: 13"x 39 3/8"
- EXPOSURE: 5 5/8"
- COLOR AS PER OWNER FROM MANUFACTURERS STANDARD COLOR SELECTION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- PROVIDE EDGE AND TERMINATION DETAIL COMPONENTS AS REQUIRED TO OBTAIN MANUFACTURER'S WARRANTY.

STAIN:

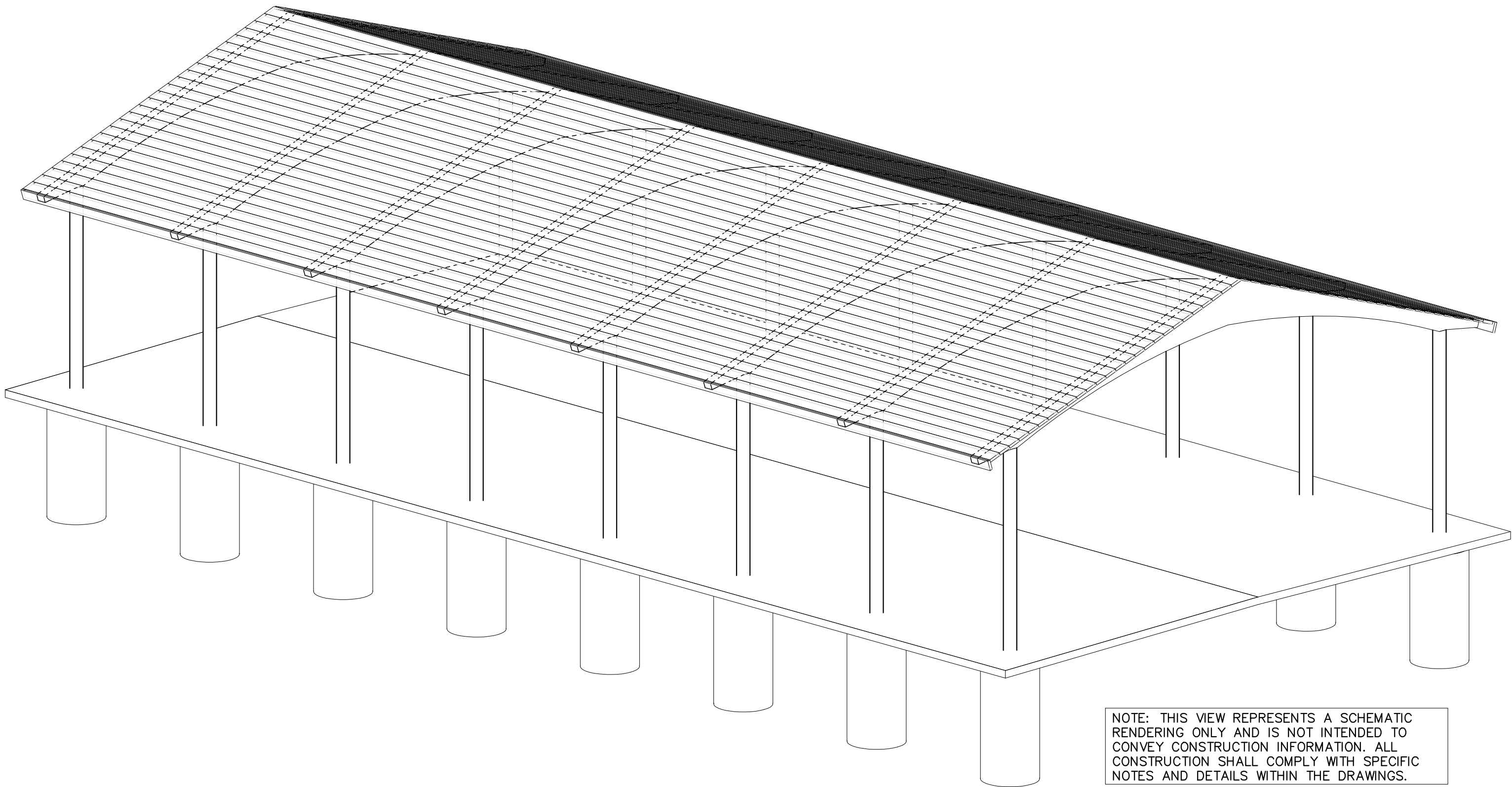
- BEAMS, DECK, AND FASCIA SHALL BE FACTORY STAINED WITH "OLYMPIC" SEMI-TRANSPARENT STAIN. BEAMS AND FASCIA TO BE STAINED NO. 708 WALNUT, DECK TO BE STAINED NO. 911 CAPE COD GRAY OR AS SELECTED BY OWNER.

ELASTOMERIC JOINT SEALANTS:

- PROVIDE SIKASIL-728 NS NON-SAG SILICONE SEALANT AT SAW CUT JOINTS AND COLD JOINTS.
- PROVIDE DOW CORNING 791 SILICONE WEATHERPROOFING SEALANT AT COLUMN/CONCRETE JOINT.
- CLEAN AND PREPARE SURFACES.
- USE PROPER PRIMER AND BACKING MATERIALS AS REQUIRED TO INSTALL SEALANTS.
- PROVIDE MASKING AND TEST STRIPS AS NEEDED.
- INSTALL ALL RELATED SEALANTS AND MATERIALS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

PLUMBING AND ELECTRICAL:(BY OTHERS)

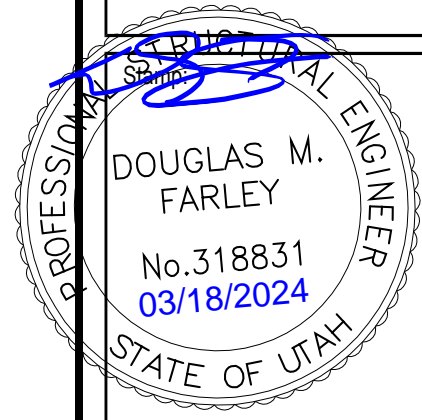
- COORDINATE PLUMBING AND ELECTRICAL REQUIREMENTS WITH ARCHITECTURAL AND CITE PLANS, BY OTHERS.



NOTE: THIS VIEW REPRESENTS A SCHEMATIC RENDERING ONLY AND IS NOT INTENDED TO CONVEY CONSTRUCTION INFORMATION. ALL CONSTRUCTION SHALL COMPLY WITH SPECIFIC NOTES AND DETAILS WITHIN THE DRAWINGS.

Supplier:

SMITH  
STEELWORKS



30'x60' Glulam Pavilion  
Kit 1 Option A

10494 North 4720 West  
Highland, Utah

Project for:  
THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

Mark	Date (mm)	Description

Project Number:

Plan Series:

Property Number:

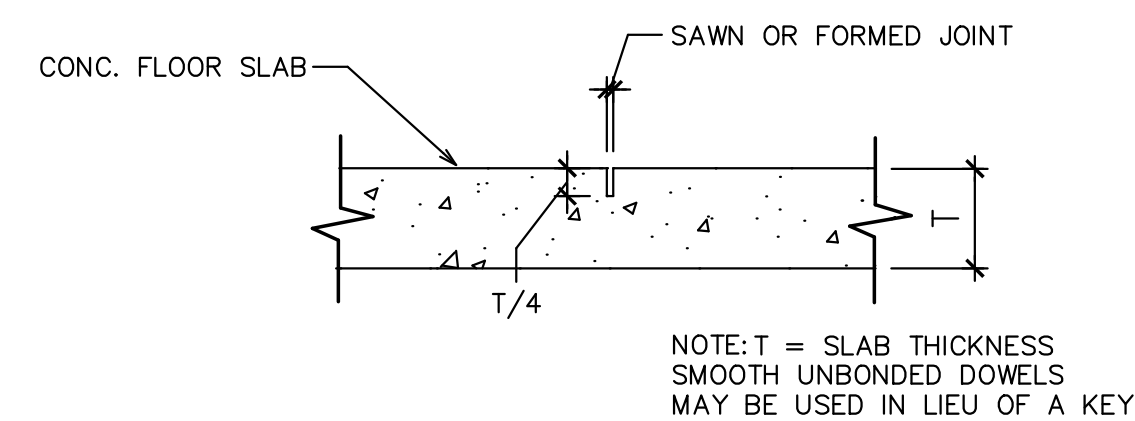
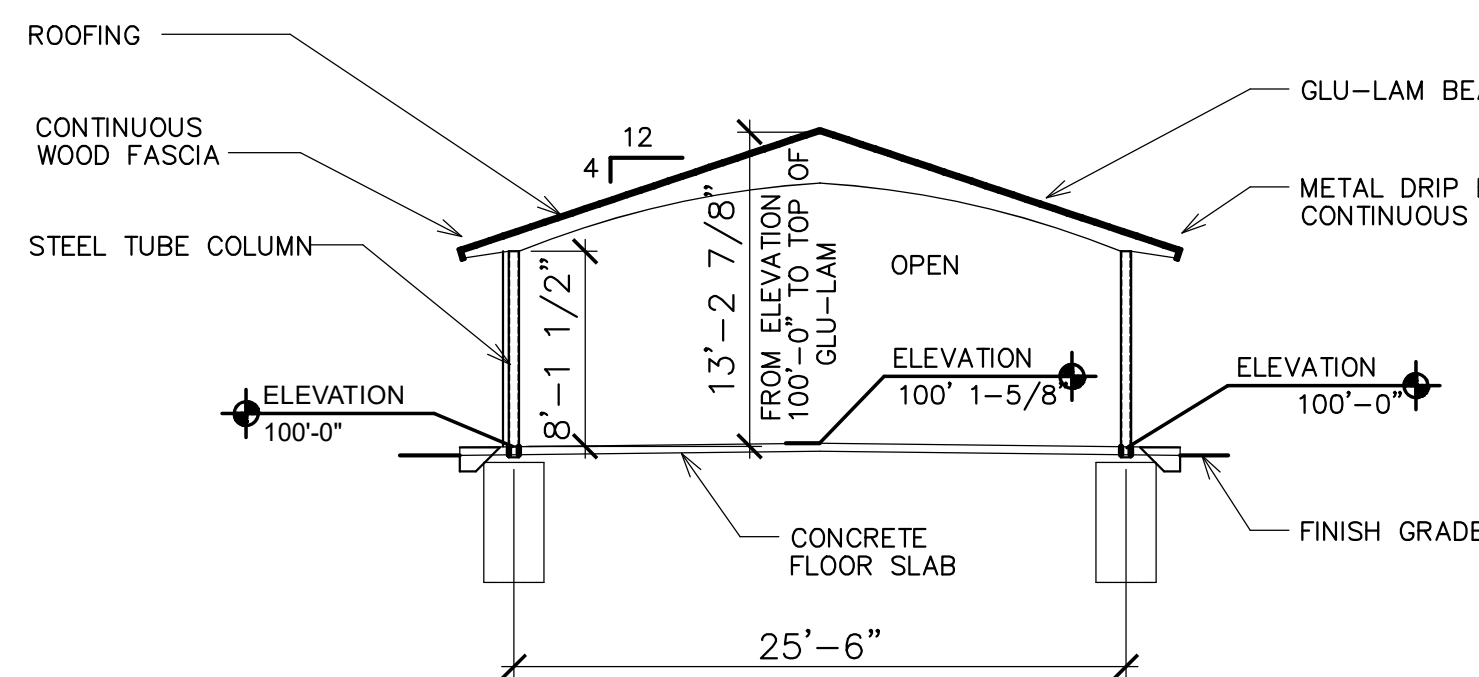
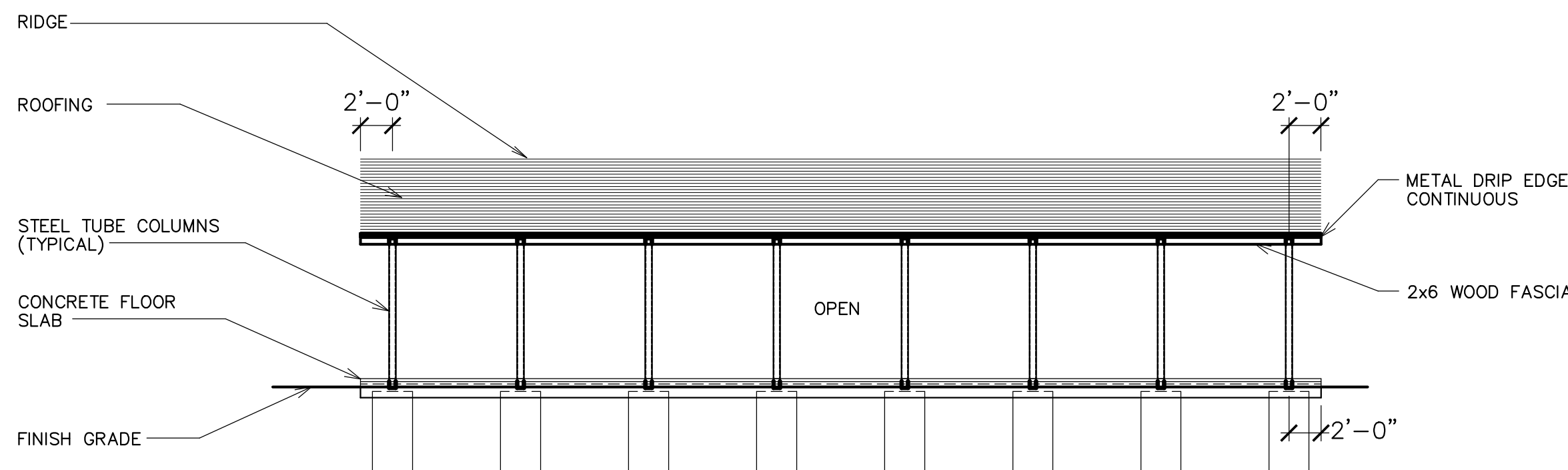
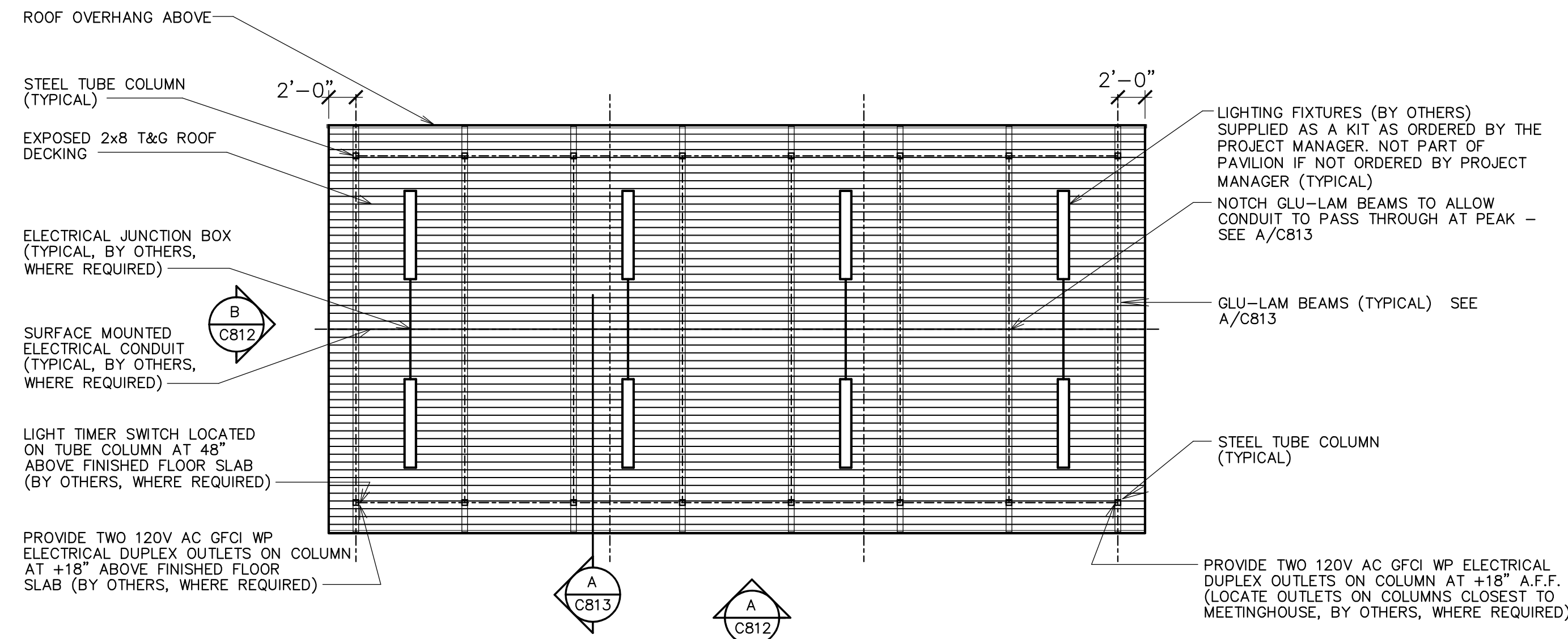
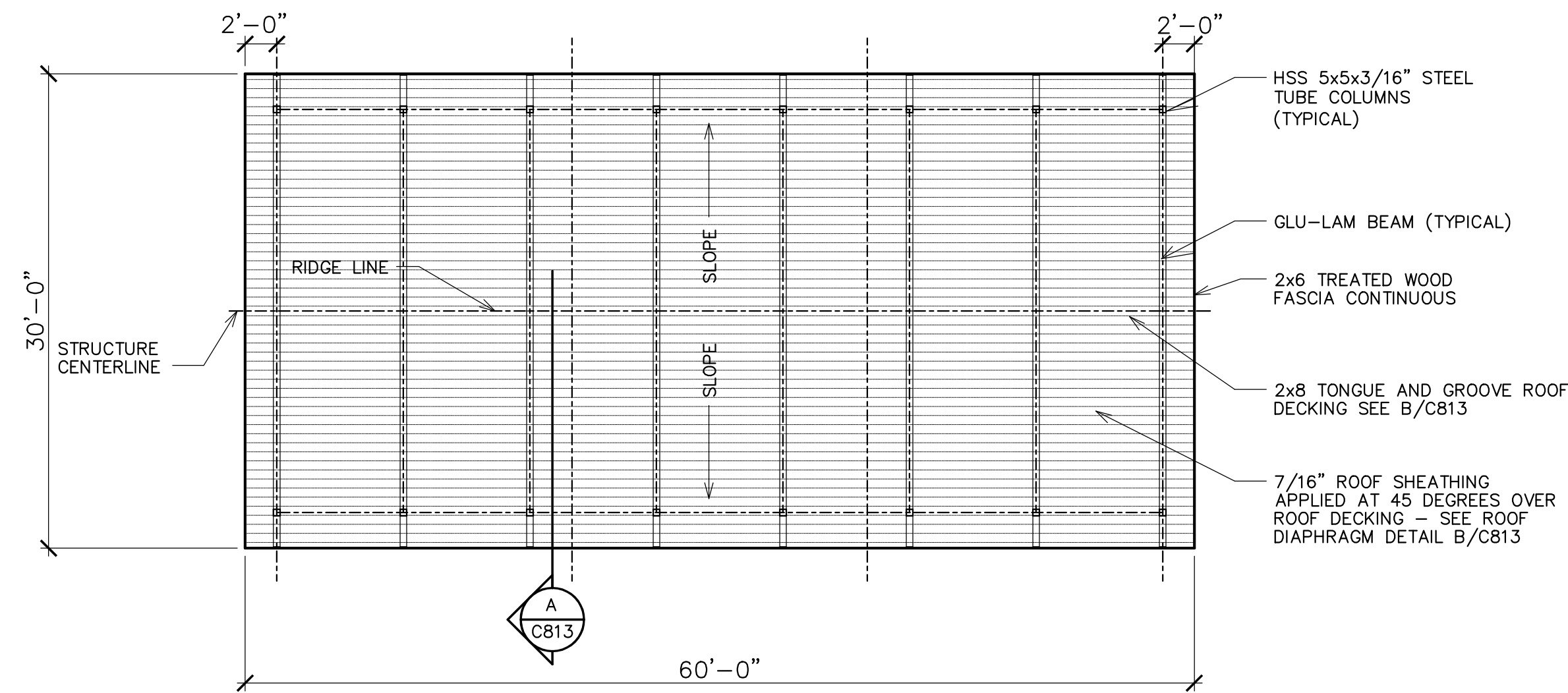
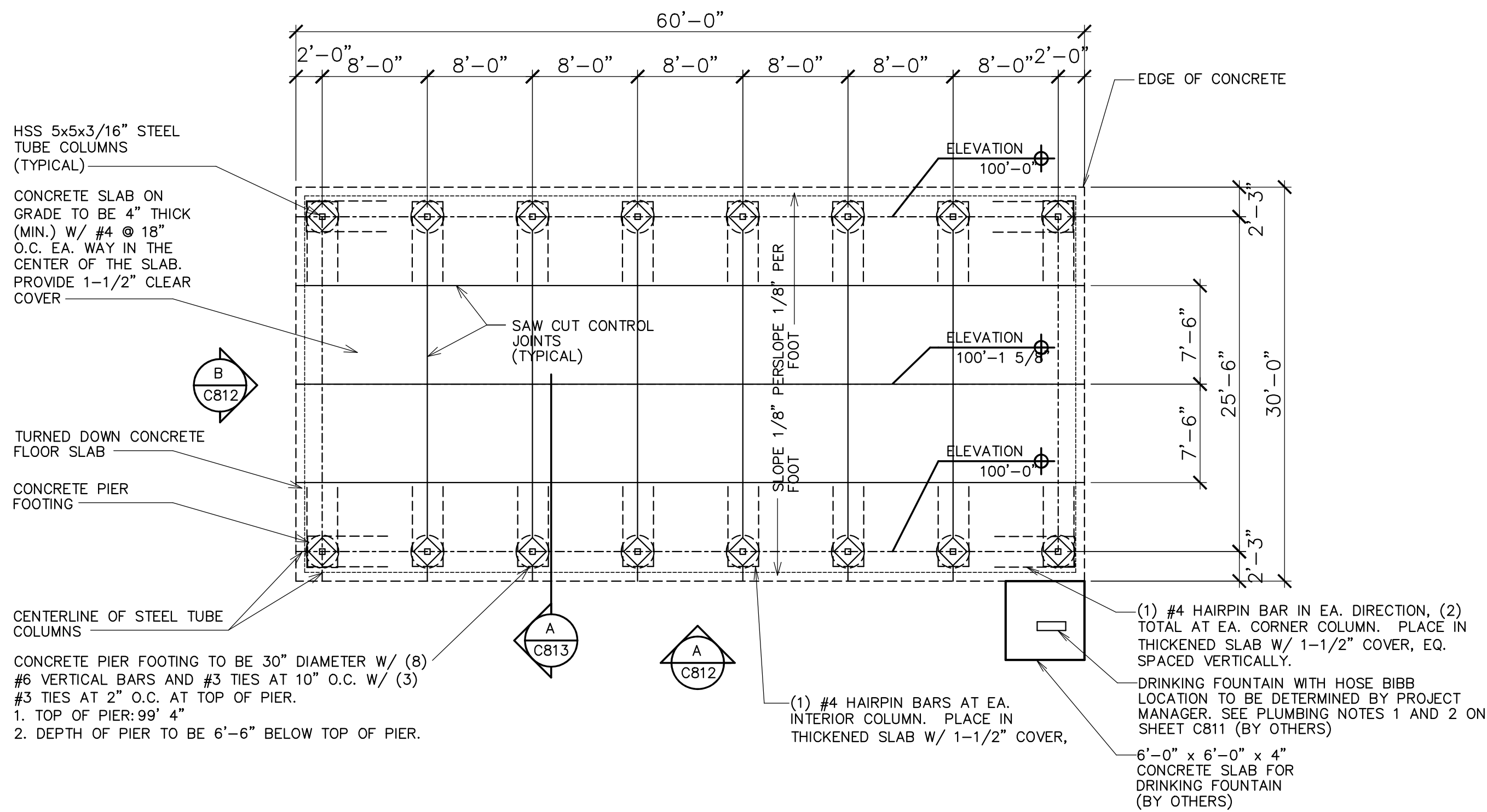
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PLAN VIEWS

Sheet:

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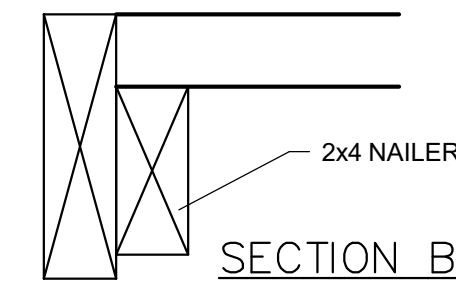
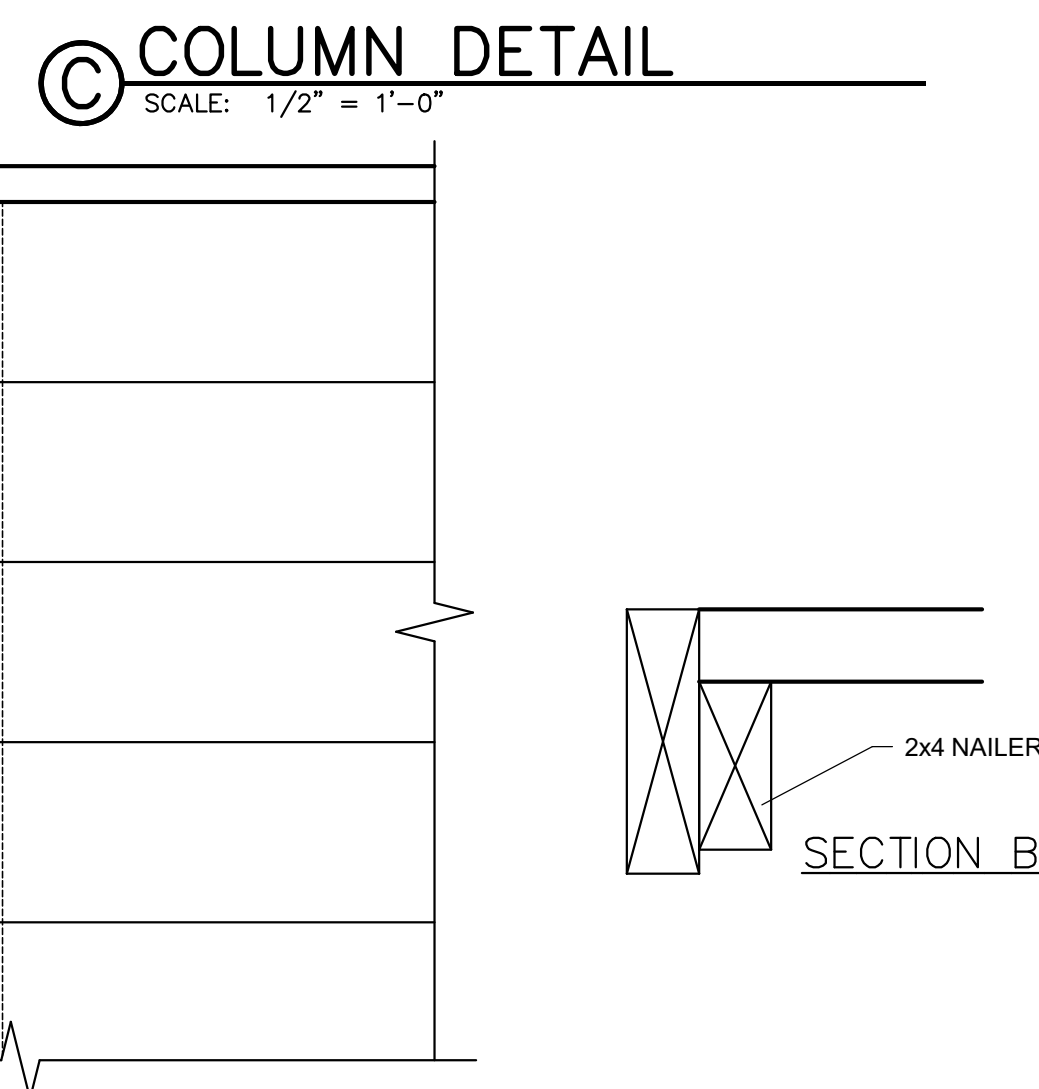
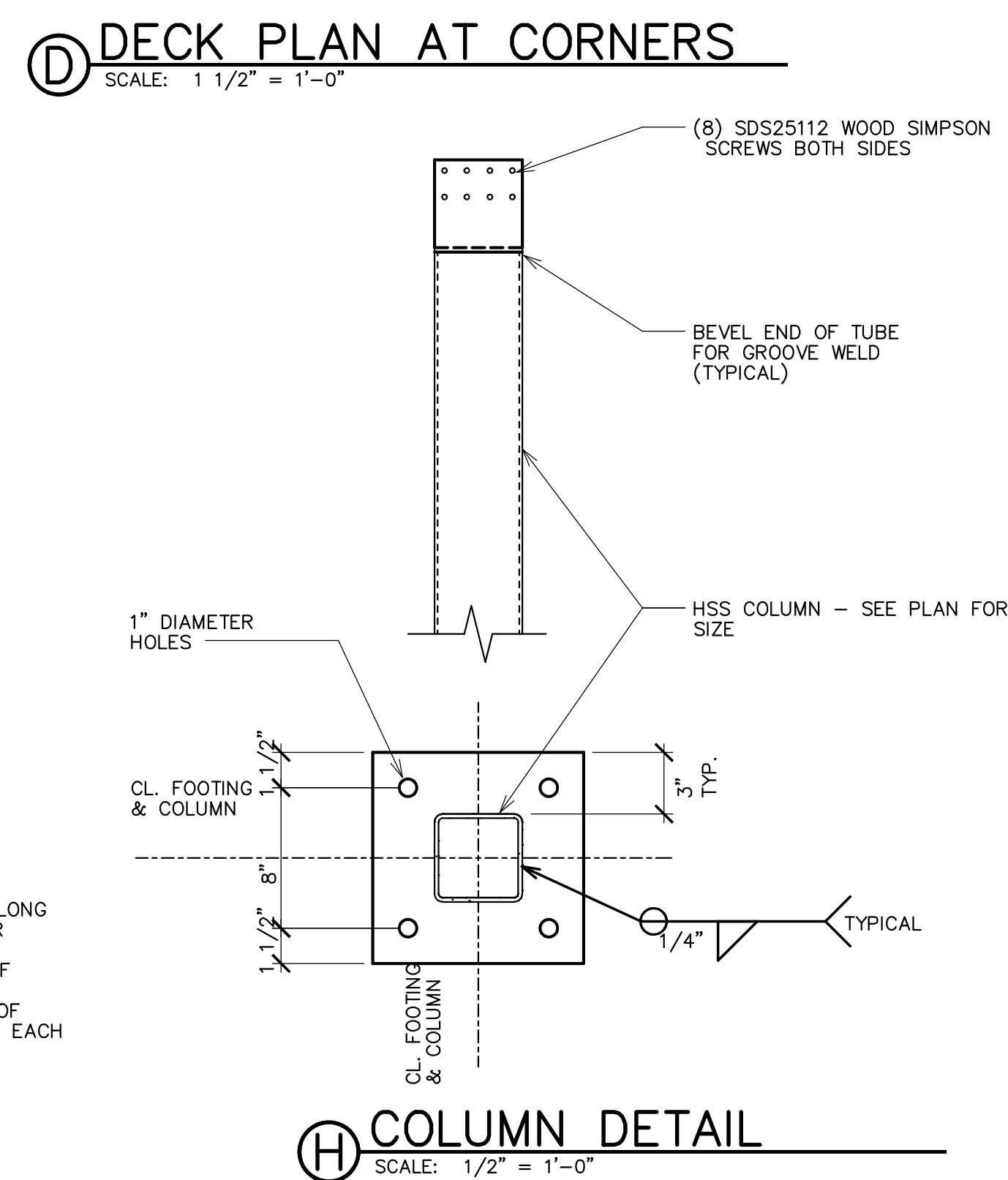
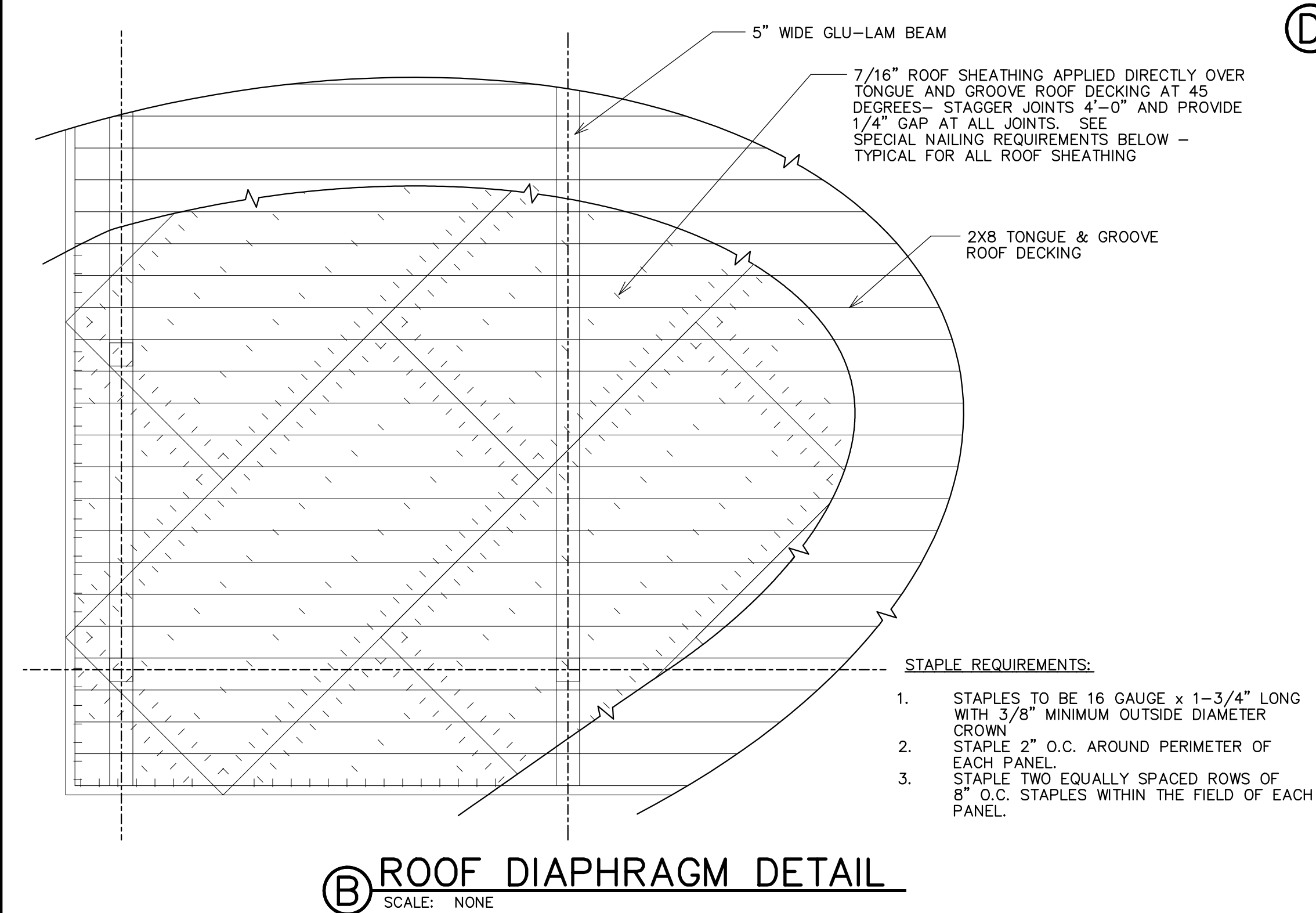
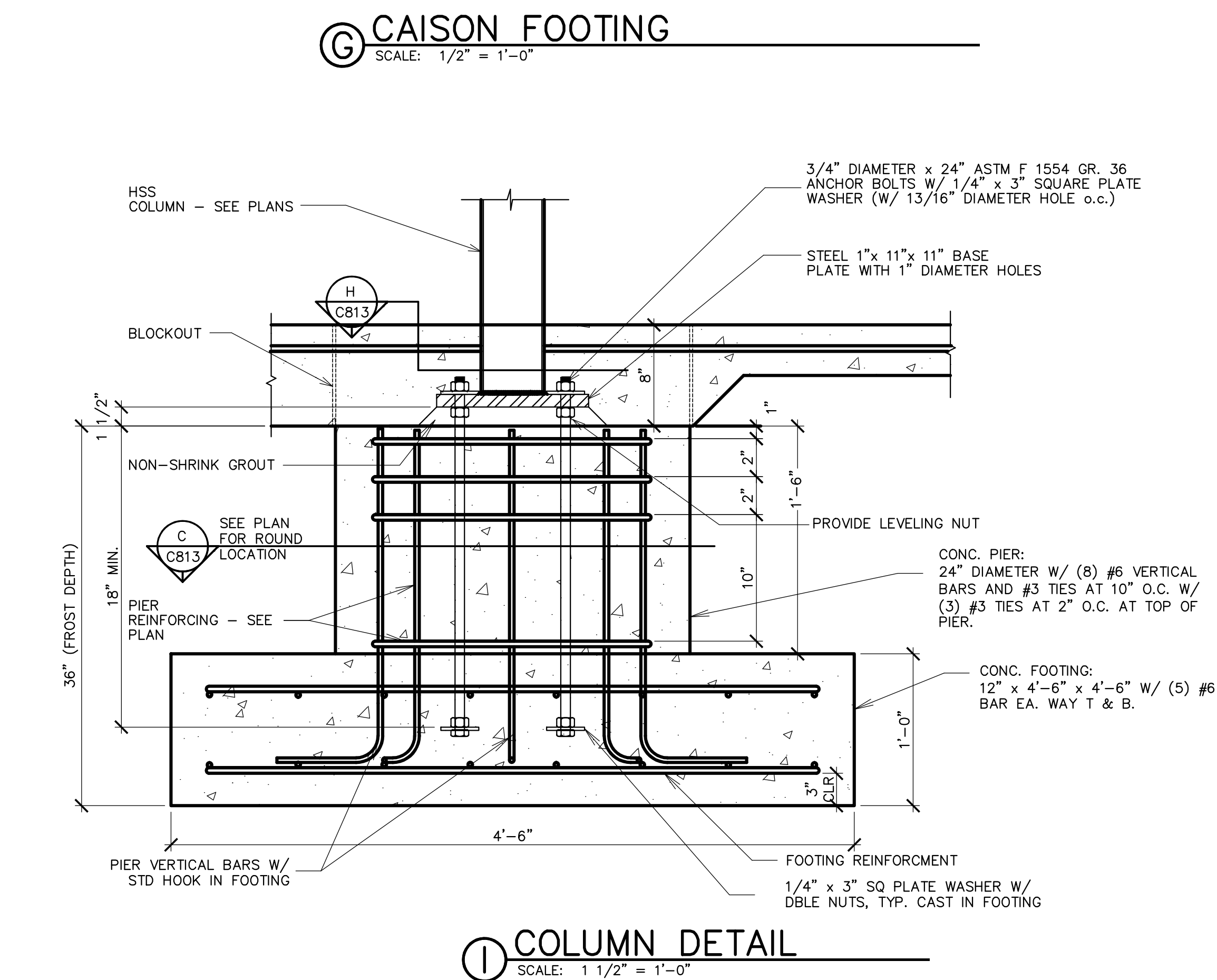
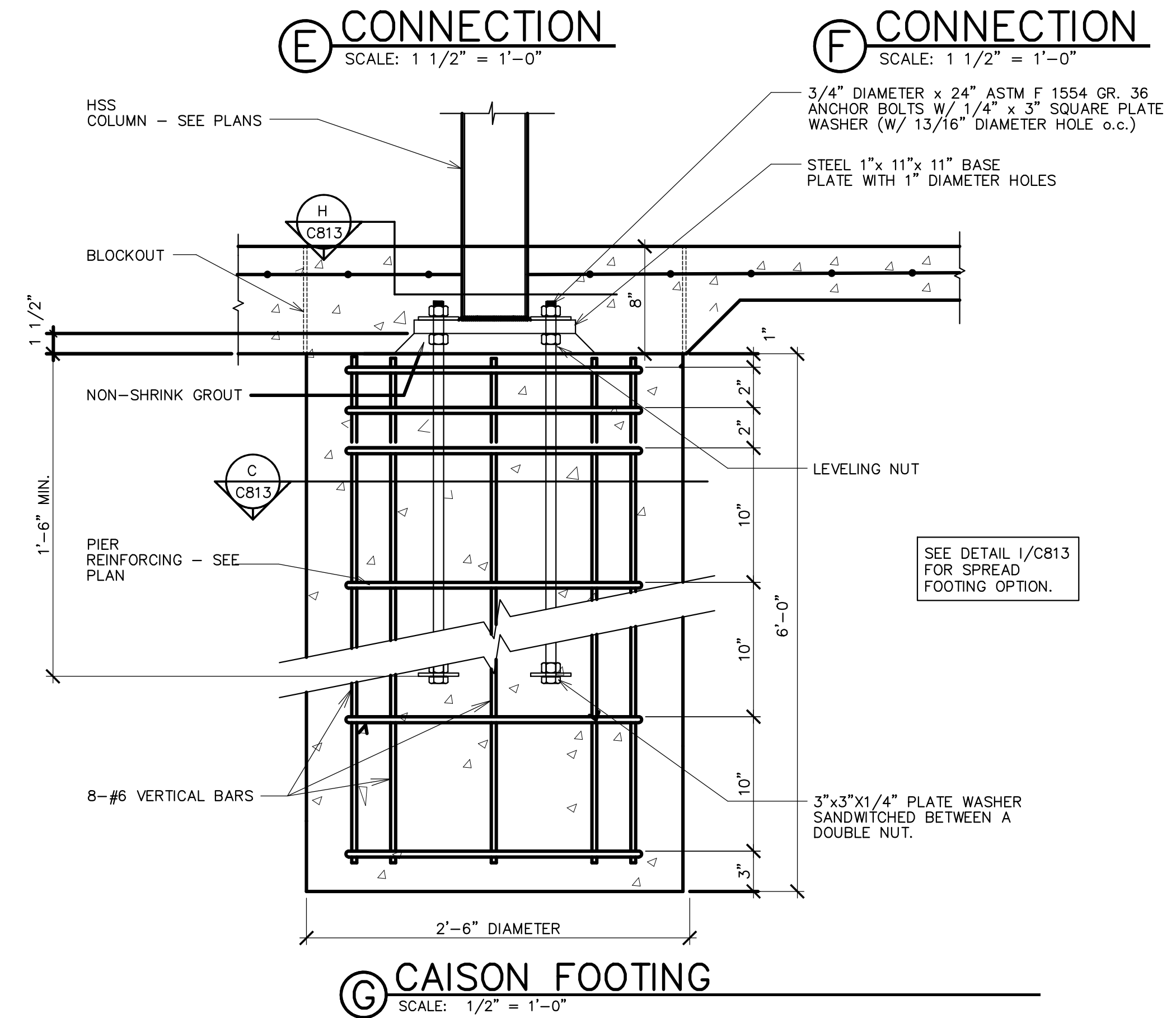
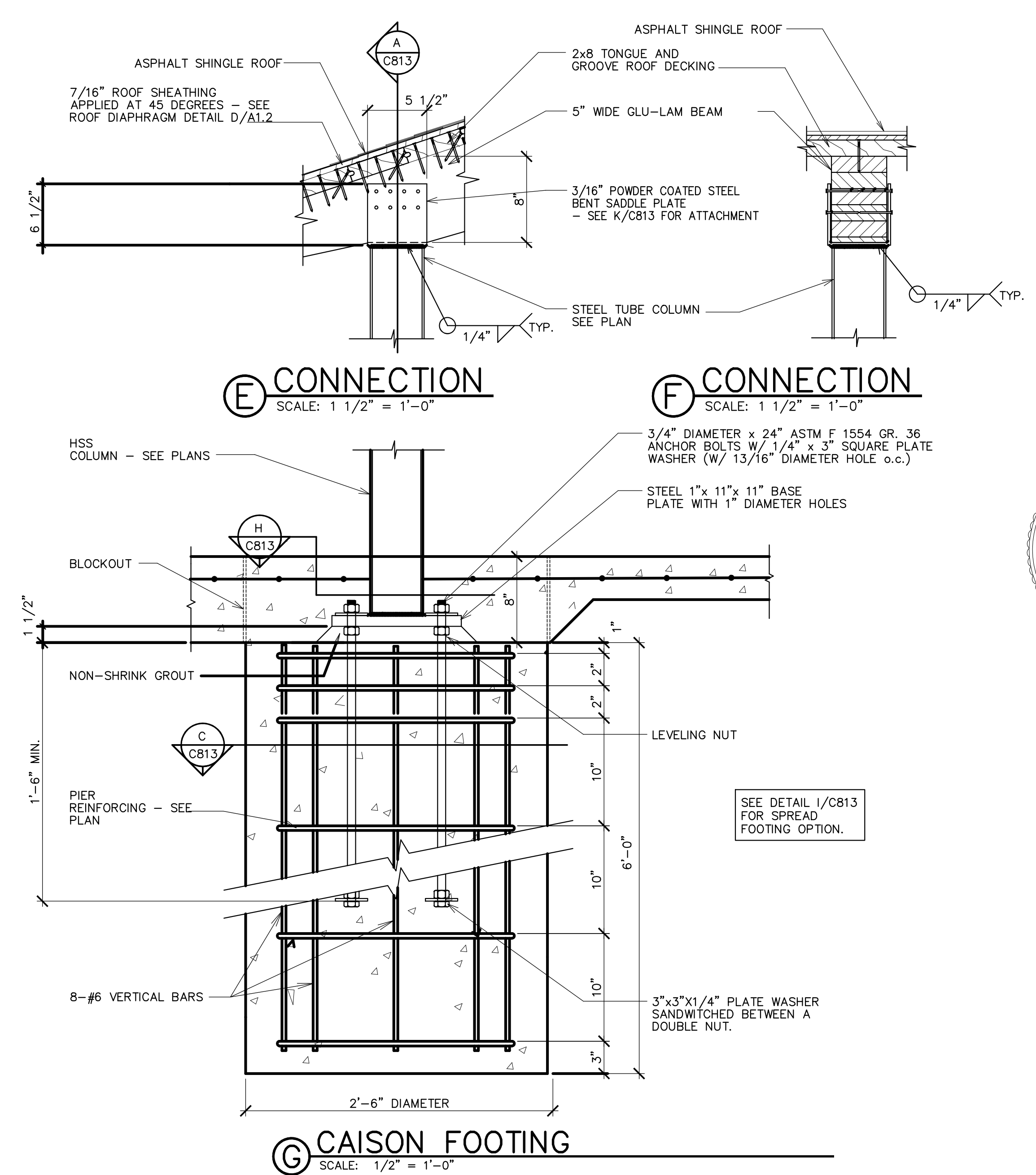
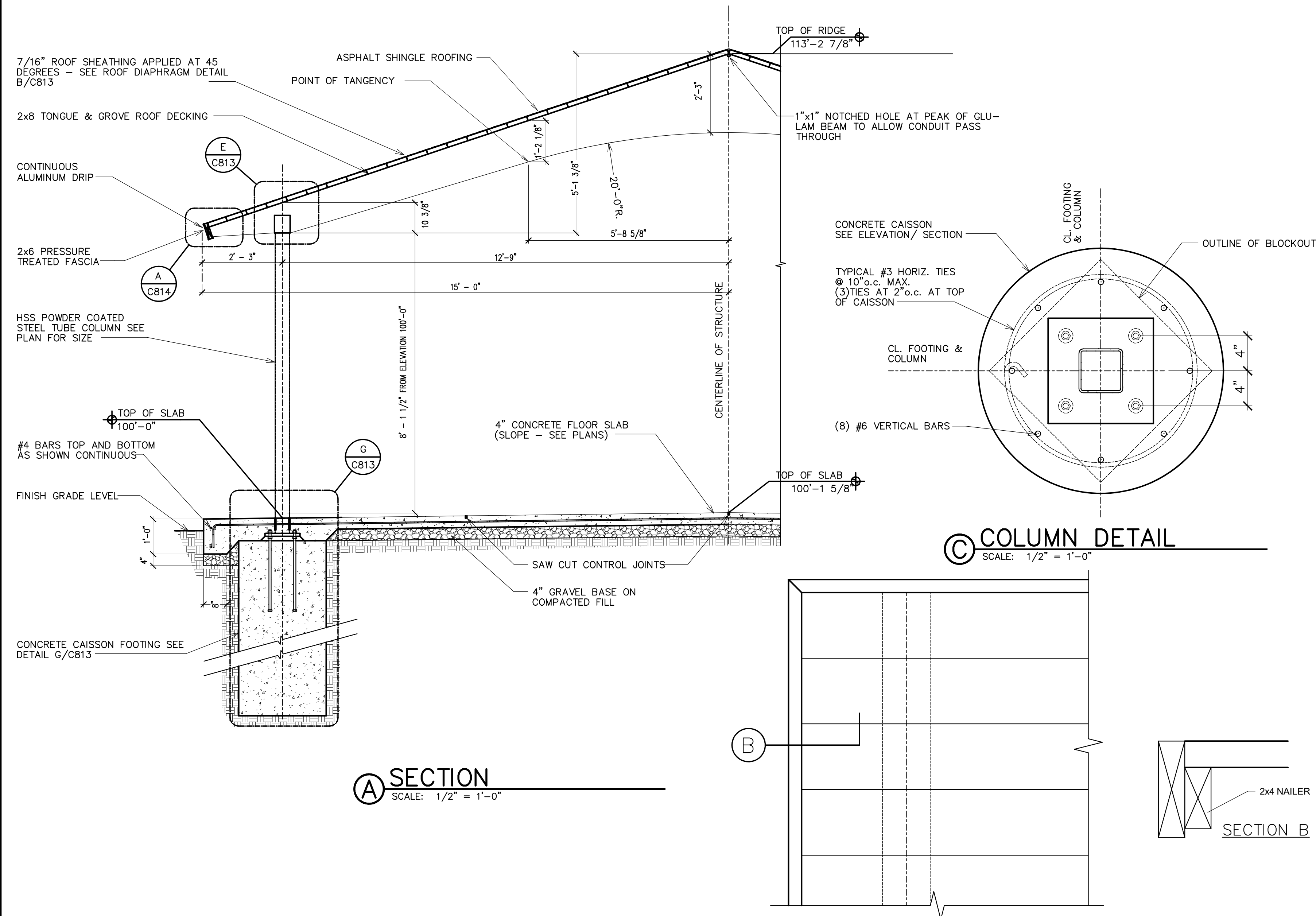
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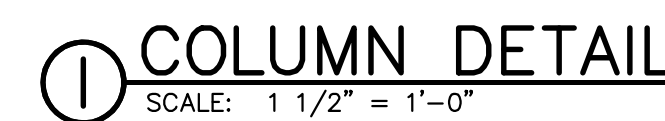
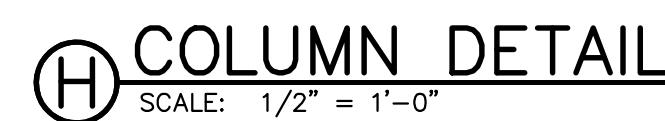
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Sheet:  
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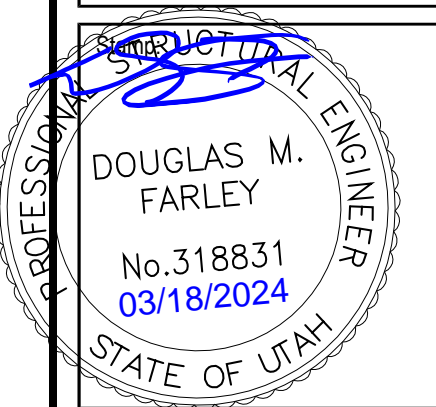




MITER ENDS OF FASCIA AT CORNERS. BUTT FASCIA ONLY AT BEAM ENDS.  
FASTEN FASCIA TO BEAMS W/ (3) 10d NAILS AT EACH JUNCTION AND TO  
DECK @ 12" o.c. (SIDES) AND 6 3/4" o.c. (ENDS)



Supplier:

SMITH  
STEELWORKS

30'x60' Glulam Pavilion  
Kit 1 Option A  
10494 North 4720 West  
Highland, Utah

THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

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Project Number:

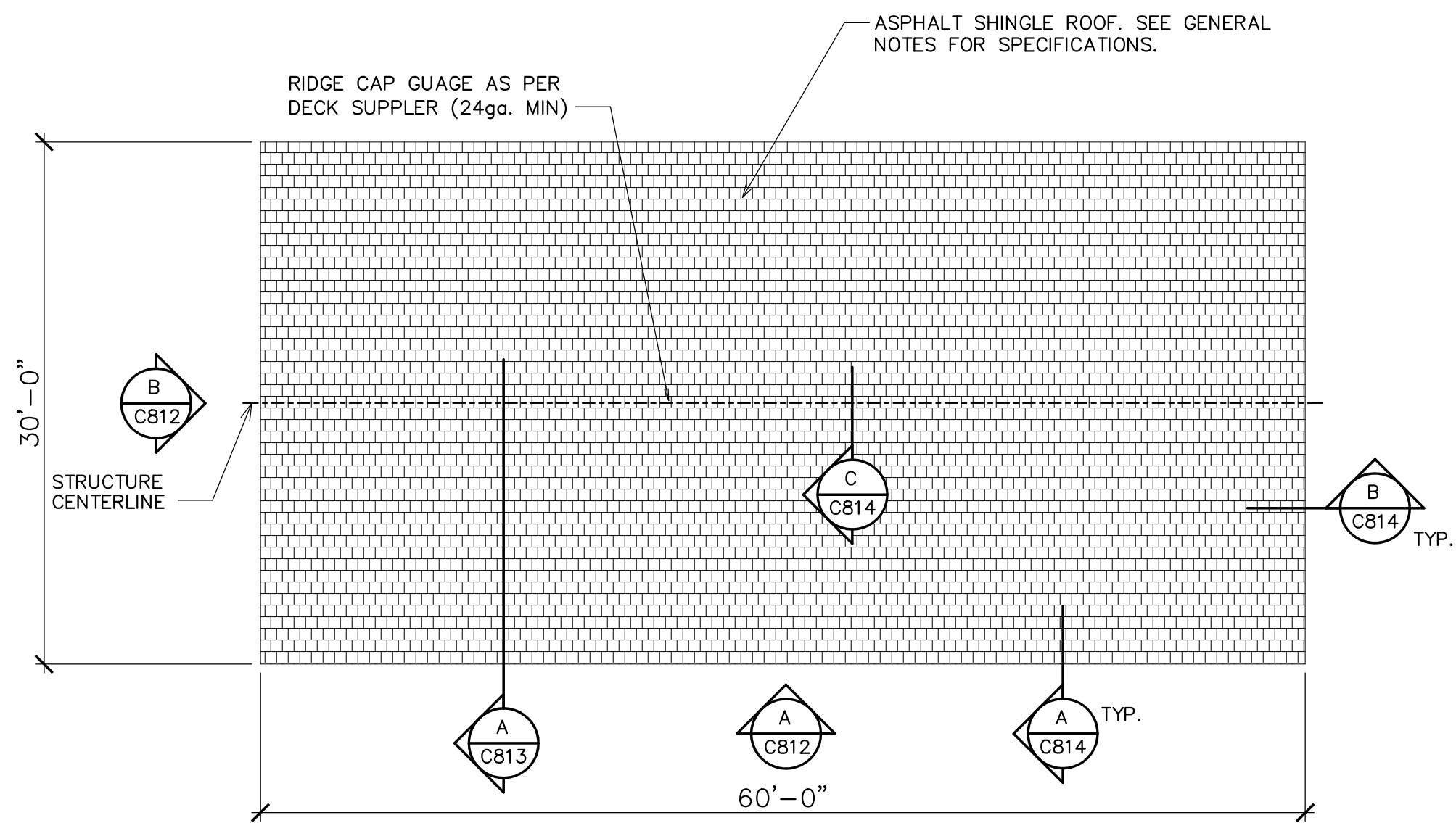
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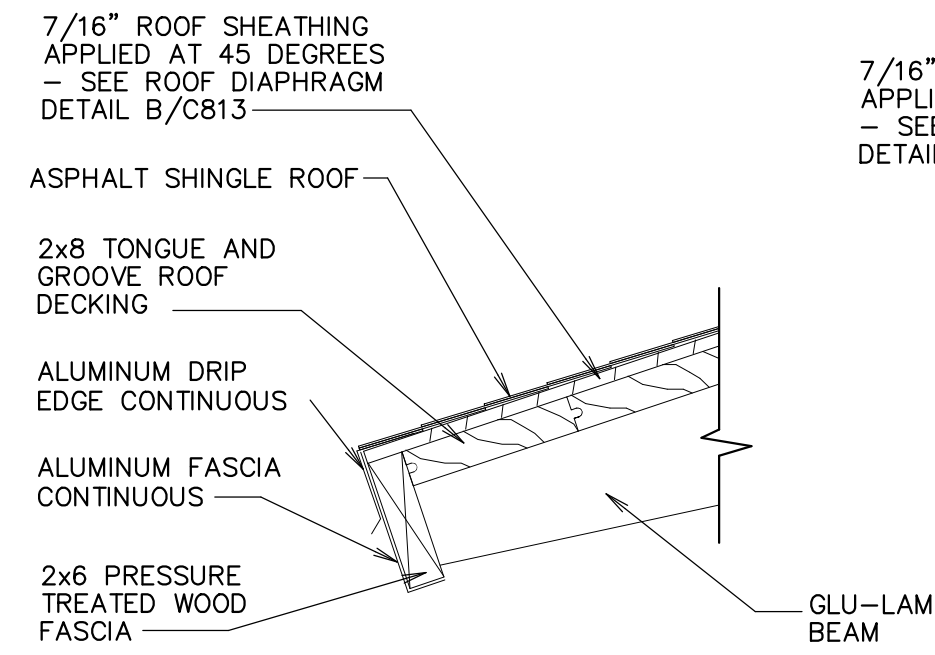
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**SECTION AND  
DETAIL VIEWS**

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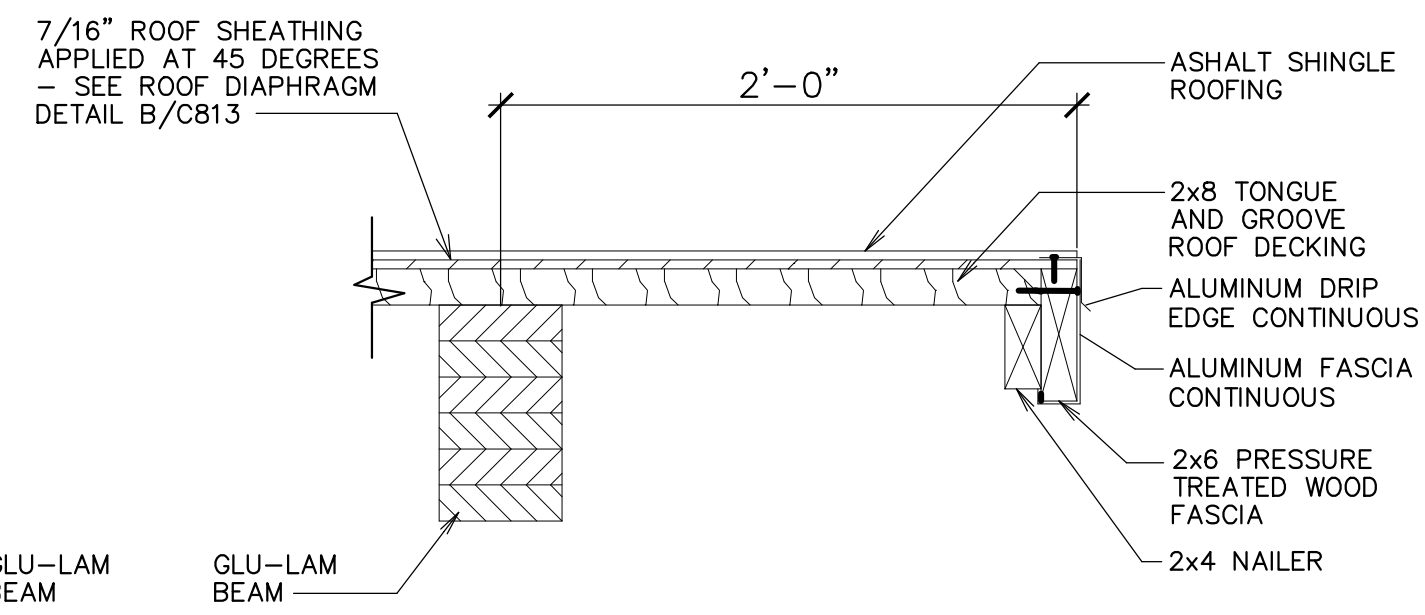
C813



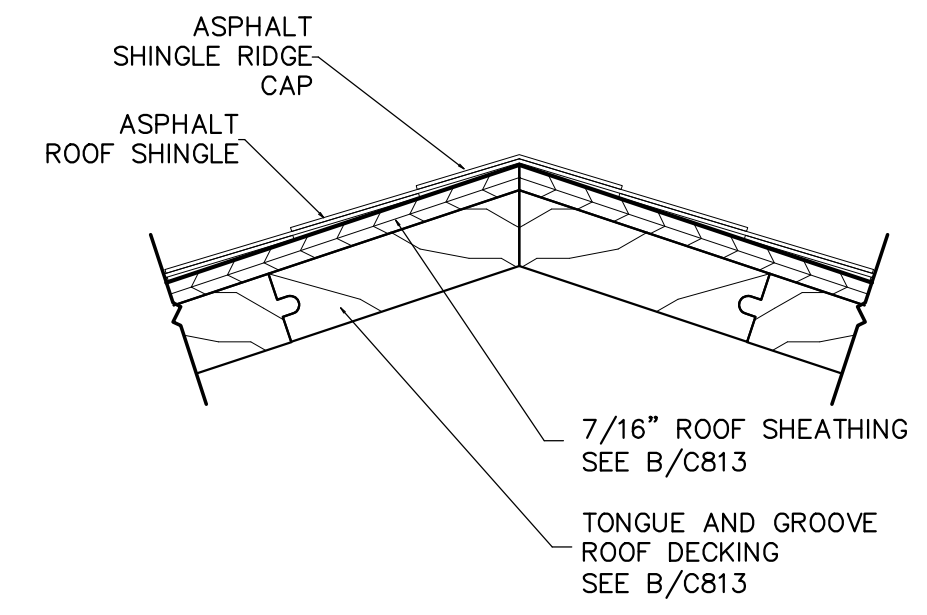
① ROOF PLAN  
SCALE: 1/8" = 1'-0"



Ⓐ FASCIA DETAIL  
SCALE: 1 1/2" = 1'-0"



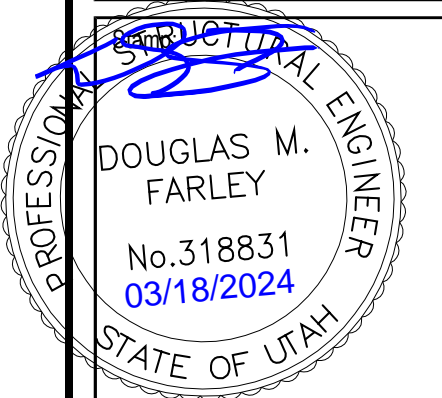
Ⓑ RAKE DETAIL  
SCALE: 1 1/2" = 1'-0"



Ⓒ RIDGE CAP DETAIL  
SCALE: 3" = 1'-0"

Supplier:

**SMITH**  
STEELWORKS



30'x60' Glulam Pavilion  
Kit 1 Option A

10494 North 4720 West  
Highland, Utah

Project for:  
**THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS**

Mark	Date (y-y-y)	Description

Project Number:

Plan Series:

Property Number:

Sheet Title:

**ROOF VIEWS  
AND DETAILS**

Sheet:

**C814**